



TENANT DESIGN MANUAL

for Sacramento International Airport

Revised February 2018



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Central Terminal B: Entry/Exit



Airside B: Ramp

Images



Central Terminal B: Level 3 Concessions



Airside B: Level 2 Concessions

(The above images are artist renderings and do not depict built conditions or manual guidelines.)

1.1 Introduction

Welcome to the Sacramento International Airport. In the pages that follow, the Sacramento County Department of Airports (SCDOA) has set forth its vision and goals for the development of the concessions building standards in Terminal A, Central Terminal B and Airside B. The purpose of this manual is to familiarize you, the Tenant, with the construction requirements of SCDOA and assist you in expediting the design and construction of your leasehold. Differing design requirements exist between the Terminals A and B. To simplify the information, Section 2 defines the requirements for Terminal A, and Section 3 details the requirements for Central Terminal B and Airside B.

This manual will provide your design and construction team with the information necessary for preparing and submitting compliant plans for review and approval. This Tenant Design Manual includes both design and construction requirements for your leasehold and outlines SCDOA's obligations, the Tenant's obligations and the General Contractor's requirements and restrictions. As such, we encourage all Tenants to ensure that the Tenant Design Manual is distributed to all team members as appropriate.

Please follow the guidelines and procedures outlined in this manual to expedite the necessary approvals and buildout of your leasehold. Please note a two-step submittal process is required, first to SCDOA and secondly to the County of Sacramento Building Inspection Division. (see 4.1.32 Final Submittal, 10) Particular attention should be paid to the design criteria and plan submittal procedures to avoid needless delays or expensive redesigns.

Tenants are encouraged to be innovative in the design and layout of their concession spaces to emphasize brand, create interest and excitement and increase revenue potential. The guidelines contained herein provide a framework for developing a leasehold while allowing individual expression in design. SCDOA does not intend to design your space but rather intends to maintain a consistent, high level of design throughout the airport. It is the Tenant's responsibility to become familiar with the design intent and objectives outlined within the manual. SCDOA reserves the right to change, delete or augment any of the requirements contained within this manual.

The information contained in this Tenant Design Manual is intended as a supplement to the Lease Documents. In the event of any conflict, the provisions of the lease documents shall govern.

A representative from SCDOA shall be assigned to each project or phase within the project to assist the Tenant through the approval process and shall hereafter be referred to as the Airport Project Coordinator (APC). The APC contact may change as necessary based on the requirements of the project.

The Lessee of the leasehold spaces shall hereafter be referred to as the Tenant.

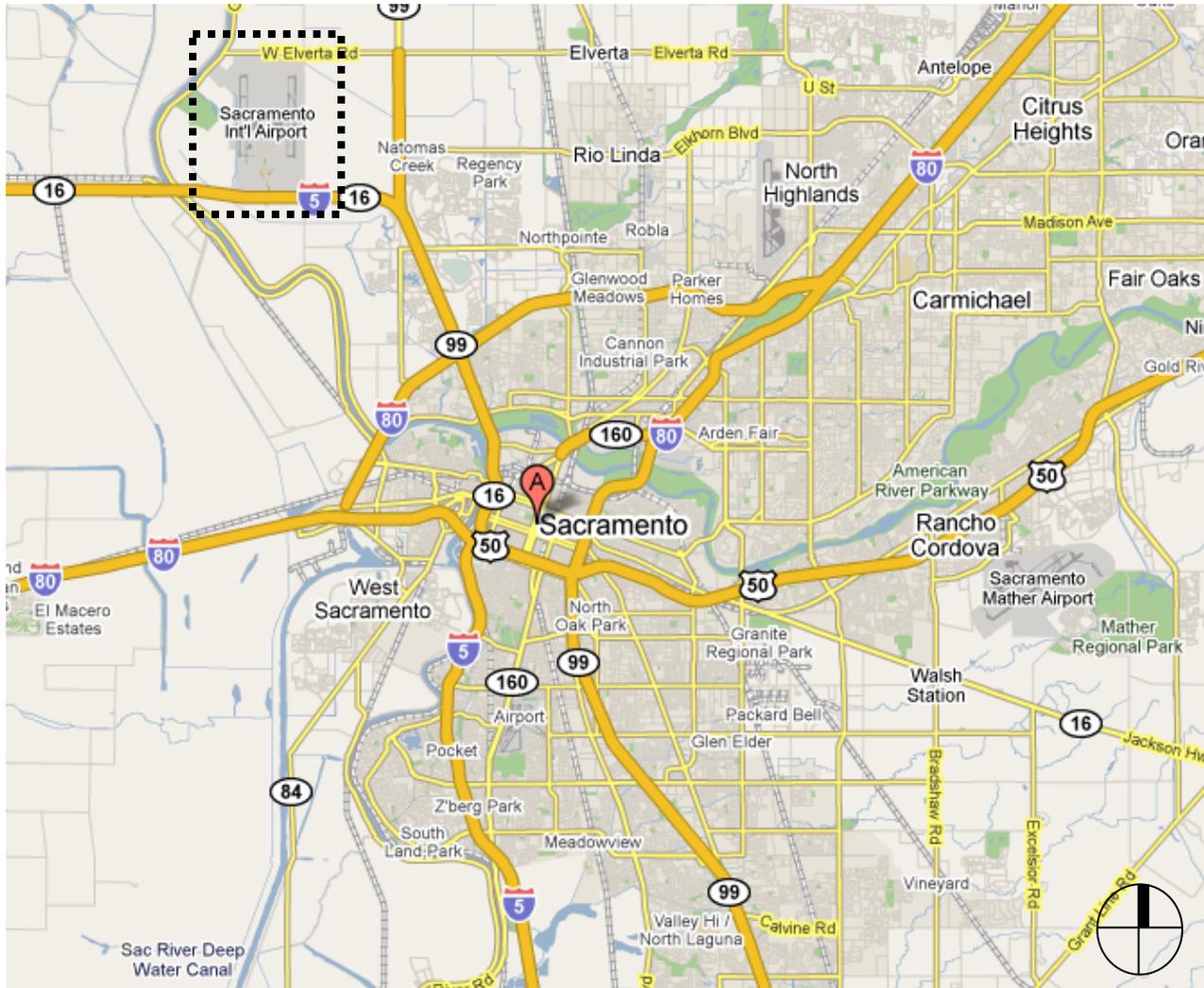
SCDOA looks forward to working with you and your talented team to develop an exciting concession program.

1.2 Definitions

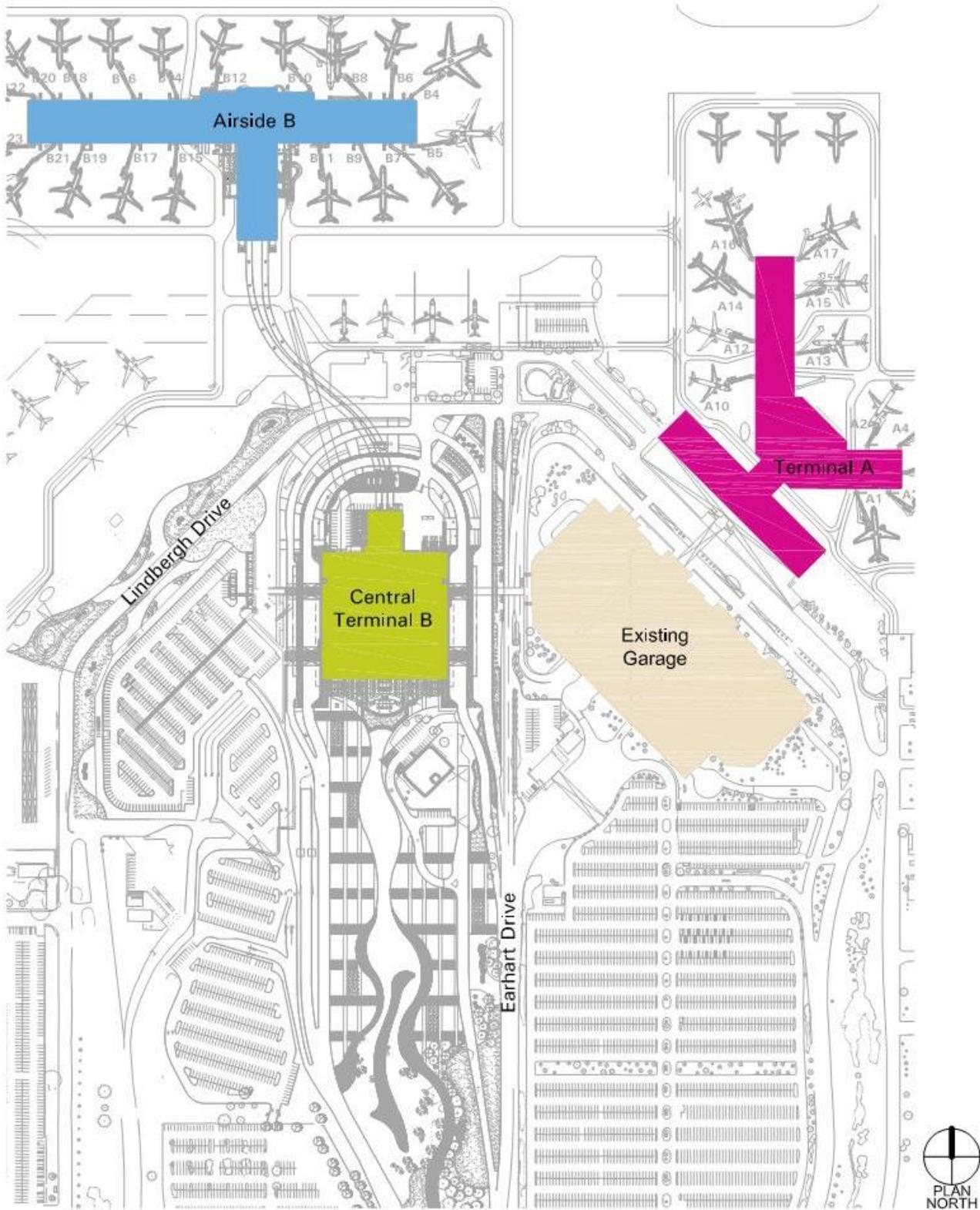
The following are terms used throughout the Tenant Design Manual.

AOA	Aircraft Operations Area (secure area)
APC	Airport Project Coordinator (aka: Airport Project Manager)
APM	Automated People Mover: Transportation system between the Central Terminal B and Airside B.
ARFF	Aircraft Recuse Fire Fighting (Airport Fire Marshall).
Accessibility	Refers to all applicable codes pertaining to a persons' ability to use building components, including but not limited to the Americans with Disability Act and The California Building Code. Additionally, the California Disabled Accessibility Guidebook (CaDAG) may be referenced as an interpretive manual.
Blade Signage	Perpendicular sign element located above the storefront within the Parallel Signage Zone.
CBC	California Building Code, latest application version. Refer to CCR Title 24.
Kiosk	An individual, freestanding, self-contained concession unit that provides preparation, display, transaction space and/or storage.
Landside	The unsecured portion of the terminal or concourse, or non-AOA SIDA area.
NFPA 13	National Fire Protection Association, Standard 13, <i>Standard for the Installation of Sprinkler Systems</i> , as adopted by the California Building Code.
NFPA 72	National Fire Protection Association, Standard 72, <i>National Fire Alarm Code</i> , as adopted by the California Building Code.
Neutral Frame	Consists of a pier on either side of the bulkhead above the Tenant storefront which is clad with SCDOA-provided standard terminal finishes.
Neutral Pier	The vertical portion of the neutral frame clad with SCDOA-provided standard terminal fishes that provide a common demarcation between Tenant leaseholds.
Parallel Signage	The parallel sign element is located above the storefront and is displayed parallel to the face of the storefront.
SIDA	Security Identification Display Area: The secure area of the terminal requiring display of an SCDOA-issued identification badge. Access levels vary and may be verified by the holder of an AOA badge through the Airport Badging Office.
SCZ	Storefront Control Zone: A transition area located within the storefront of the Tenant leasehold area. Elements within the SCZ shall comply with the Tenant Design Manual guidelines for storefront, signage, lighting requirements and merchandise display. All elements in the area are subject to SCDOA approval.
Supplemental Signage	Additional signage provided by the Tenant that is mounted within the storefront and is not part of the neutral frame.
Vertical Signage	A 3-dimensional graphic located above the neutral frame at select locations.

Vicinity Map



1.3 Site Plan



1.4 Sustainability – Leadership in Energy and Environmental Design (LEED)

SCDOA aspires to demonstrate leadership, innovation and environmental stewardship through the implementation of green building design, construction, operations and maintenance solutions throughout its facilities. To support this effort, Central Terminal B and Airside B have been designed with sustainability in mind to attain LEED Certification. LEED is an internationally recognized, third party green building certification system as defined by the U.S. Green Building Council. The system provides verification that a building meets high standards for environmental responsibility. LEED uses strategies aimed at improving building performance across various metrics such as energy savings, water efficiency, CO₂ emissions reduction, improved indoor environmental quality and stewardship of resources and sensitivity to their impacts.

Tenants, although not required to attain LEED certification, are encouraged to support SCDOA in these goals and should build and operate their concessions within Terminal A, Central Terminal B and Airside B in the most sustainable manner possible. Further information on LEED rating systems can be found at www.usgbc.org.

1.5 Code Compliance

The Tenant shall have responsibility for compliance with all applicable federal, state and local codes, ordinances and other jurisdictional regulations for the occupancy type. Reference the California Code of Regulations (CCR) Title 24, Health and Safety Code Title 17, NFPA 13, NFPA 72 and Sacramento County Code for applicable standards. This manual does not intend to supplement or replace applicable code publications and does not refer to specific code provisions. Because codes are adopted and modified frequently, the Tenant shall contact the local jurisdiction prior to project commencement for the current code requirements.

1.6 2017 Unlawful Discrimination Title VI

Unlawful Discrimination

It is unlawful for airport operators and their lessees, tenants, concessionaires and contractors to discriminate against any person because of race, color, national origin, sex, creed, or disability in public services and employment opportunities. Allegations of discrimination should be promptly reported to the Airport Manager or:

Federal Aviation Administration
Office of Civil Rights, ACR-1
800 Independence Avenue, S.W.
Washington, D.C. 20591

Federal regulations on unlawful discrimination are available for review in the Sacramento County Dept. of Airports Administration.

Coordinator: Title VI Program Coordinator, Katherine Sutton
ADA Liaison, Chris Martin
Phone: 916-874-0006
Address: 6900 Airport Blvd. West,
Sacramento, CA 95937

Discriminación Ilegal

Se prohíbe a los operadores de aeropuertos y a sus arrendatarios, inquilinos, concesionarios y contratistas discriminar contra cualquier persona por motivo de raza, color, nacionalidad de origen, sexo, creencias religiosas, impedimento físico o discapacidad en lo que respecta a servicios públicos y oportunidades de empleo. Las alegaciones de discriminación deberán ser dirigidas inmediatamente al Administrador del Aeropuerto o a:

Federal Aviation Administration
Office of Civil Rights, ACR-1
800 Independence Avenue, S.W.
Washington, D.C. 20591

Las regulaciones federales sobre la discriminación ilegal están disponibles para su revisión en el Condado de Sacramento Departamento de Aeropuertos Oficina de Administración.

Coordinador: Title VI Program Coordinator, Katherine Sutton
ADA Liaison, Chris Martin
Teléfono: 916-874-0006
Dirección: 6900 Airport Blvd. West,
Sacramento, CA 95937



U.S. Department of Transportation
Federal Aviation Administration

HO-101088

Section 2 Terminal A Concessions – To be Developed

2.1 Building Conditions

Dimensions and details shown in this manual define anticipated building conditions and are for reference only. The actual configuration and design of the terminal may vary from these sketches, drawings and plans. It is the responsibility of the Tenant to field verify the as-built conditions of the leasehold. Further, it is the Tenant's responsibility to fully review the most current version of all the materials referenced, as this manual does not contain all of SCDOA's requirements.

Tenant concepts shown in all guidelines are for illustrative purposes only and are not intended to reflect the actual occupancy of the concession leasehold. Images of storefronts and signs included in this document are examples to be used as an aid to Tenants in complying with the design guidelines and are not approved for final design.

3.1 Building Conditions

Terminal B is one of two terminals at Sacramento International Airport. Terminal B includes two separate buildings, Central Terminal B and Concourse B. Central Terminal B is the processing facility and consists of five (5) levels that house baggage make-up, ticketing and baggage check, baggage claim and other public and support functions. An automated people-mover system (APM) links Central Terminal B with Concourse B. Concourse B houses the passenger security check point and airlines' gate services for arriving and departing passengers.

In Central Terminal B, the Basement Level is a secure SIDA area where the airline bag make-up function and the baggage screening system are located. Minimal concessions storage is also provided at this level. A tunnel provides secure, light duty vehicular access to Concourse B and may be used for deliveries of goods from Central Terminal B to Concourse B. A loading and unloading zone is provided in the basement for this purpose to keep traffic congestion to a minimum. Vehicle size and fuel type restrictions apply to this level.

Level 1 is known as the "Arrivals Level." It contains the bag claim function for arriving passengers. A service dock is provided on the north end of the building at Level 1 and allows for truck deliveries and a "breakdown" space prior to moving goods and supplies to storage. Storage areas are provided on this level along with direct access to the building service elevator. Trash removal is accessed through the dock to the exterior containers located under canopy. Dry and wet trash containers are available as well as recycling containers.

Level 2 is the "Departures Level." Passenger drop-off, check-in and bag check occur at this level. Concessions are not located on this level; however, Level 3 concessions are visible from this level.

Level 3, the "Transfer Level," contains the APM station that provides train access to and from Concourse B. The transfer level houses the majority of the concession spaces. Visible from Level 2 and with pedestrian bridge access to parking facilities, this level is envisioned as a highly active space with arriving and departing passengers, as well as a location for meeters and greeters to await arriving passengers.

Level 4 is reserved for the Airport Administration Offices and is not considered a public space.

All public levels are accessed via escalators and elevators. Tenants have back-of-house access to all concession levels via a service elevator located at the northeast section of the building allowing deliveries and refuse removal.

At Concourse B, passengers arrive from Central Terminal B via the APM trains at Level 2. Passengers then process through the passenger security screening check point area before they enter into the secure concourse, which contains concessions, a common food court seating area, gate lounges and other passenger amenities along the concourse.

Concession storage areas are located on Level 1 of Concourse B. Service elevator access is provided for deliveries and refuse removal. Tunnel access is provided between the Central Terminal B for deliveries to and from Concourse B.

Dimensions and details shown in this manual define anticipated building conditions and are for reference only. The actual configuration and design of the terminal may vary from these sketches, drawings and plans. It is the responsibility of the Tenant to field verify as-built conditions of the leasehold. Further, it is the Tenant's responsibility to fully review the most current version of all the materials referenced, as this manual does not contain all of SCDOA's requirements.

Tenant concepts shown in these guidelines are for illustrative purposes only and are not intended to reflect the actual occupancy of a concession leasehold. Images of storefronts and signs included in this document are examples to be used as an aid to Tenants in complying with the design guidelines and are not approved for final design.

3.1.1 Central Terminal B - Basement Level
(Secure Level)

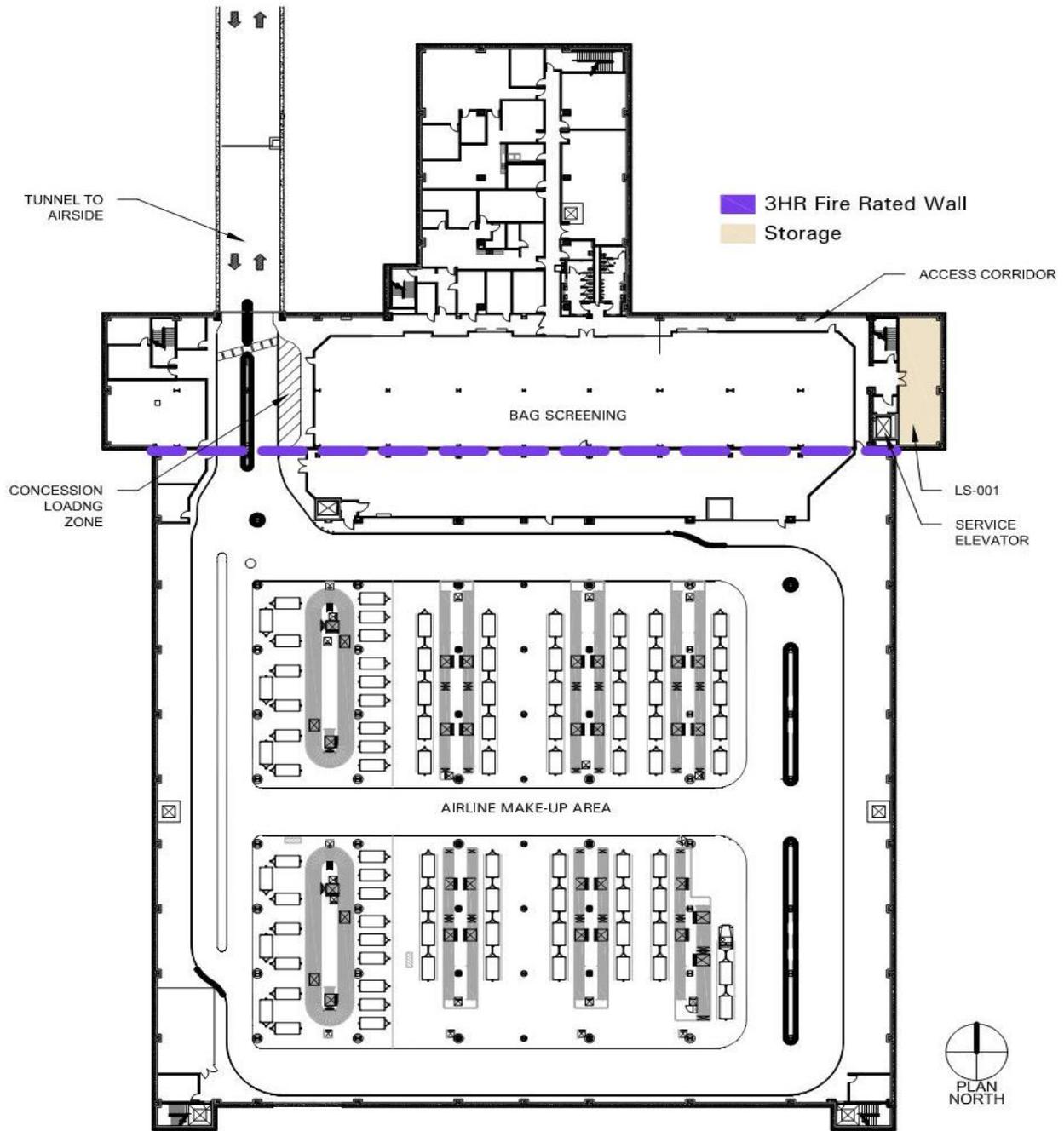


Figure 3.1A
*Reference 3.9.14 Estimate Concessions Services Matrix

3.1.2 Central Terminal B - Level 1
(Unsecure Level)

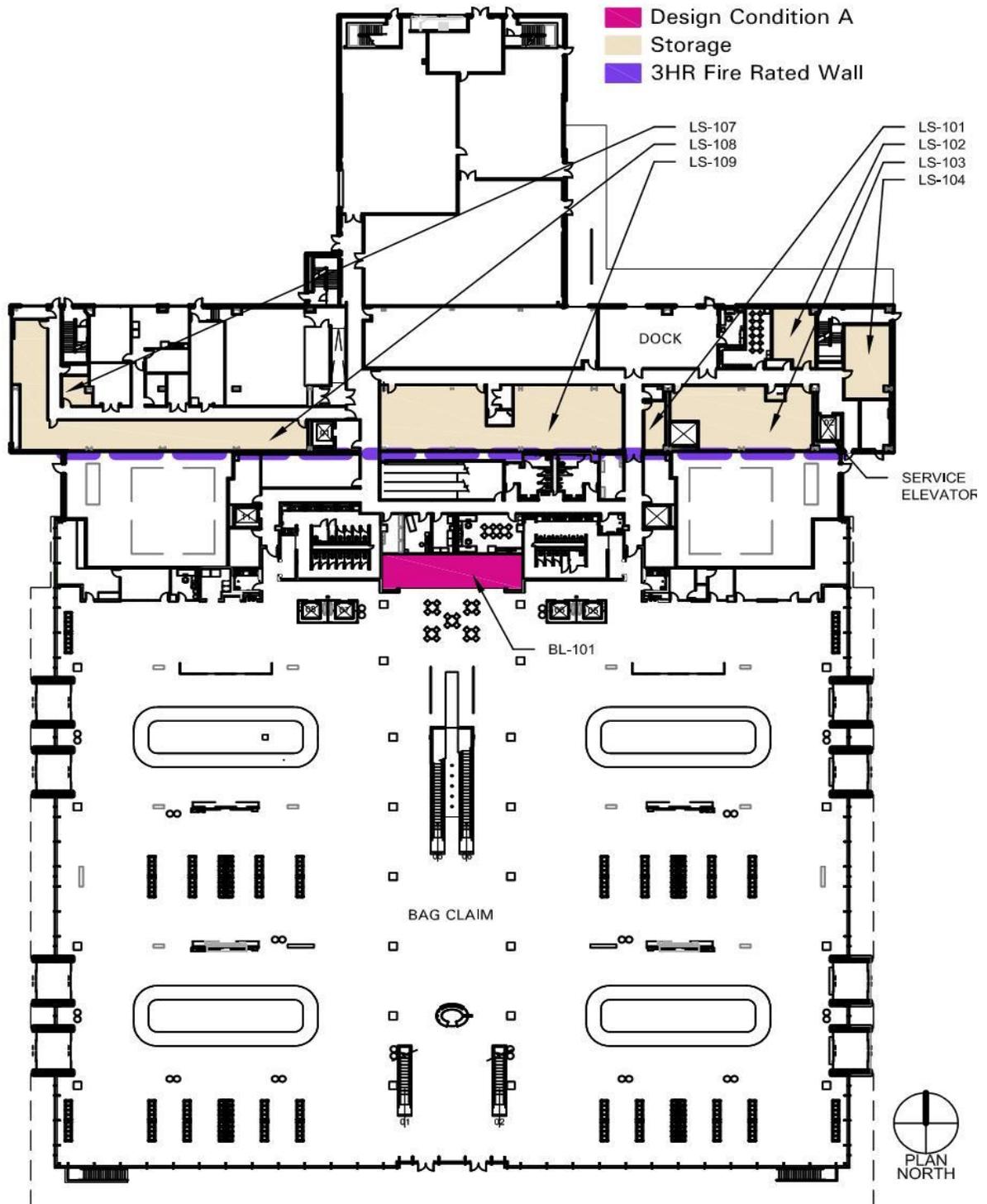


Figure 3.1B
*Reference 3.9.14 Estimate Concessions Services Matrix

3.1.3 Central Terminal B - Level 2 (Unsecure Level)

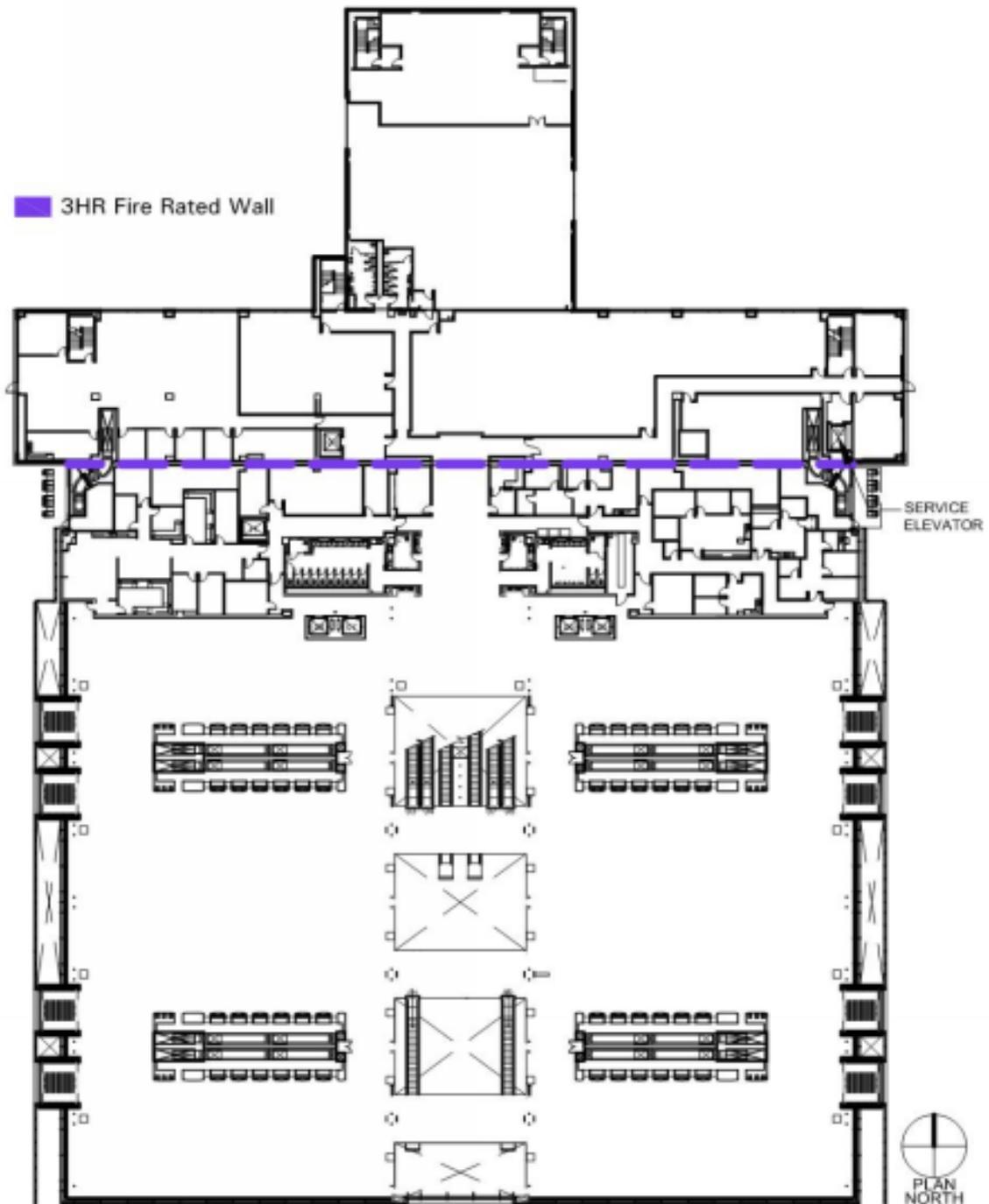


Figure 3.1C

**Reference 3.9.14 Estimate Concessions Services Matrix*

3.1.4 Central Terminal B - Level 3
(Unsecure Level)

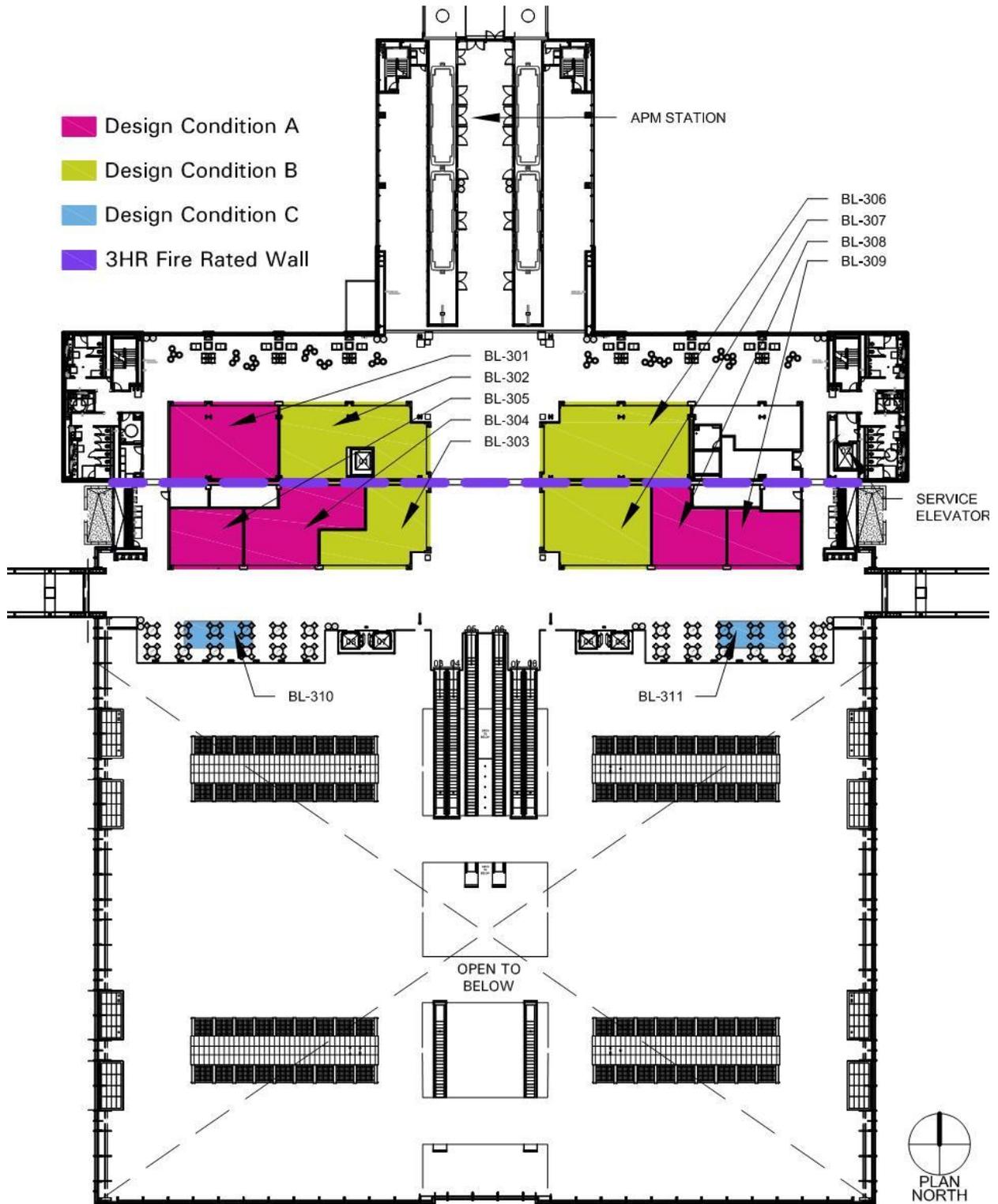


Figure 3.1D
*Reference 3.9.14 Estimate Concessions Services Matrix

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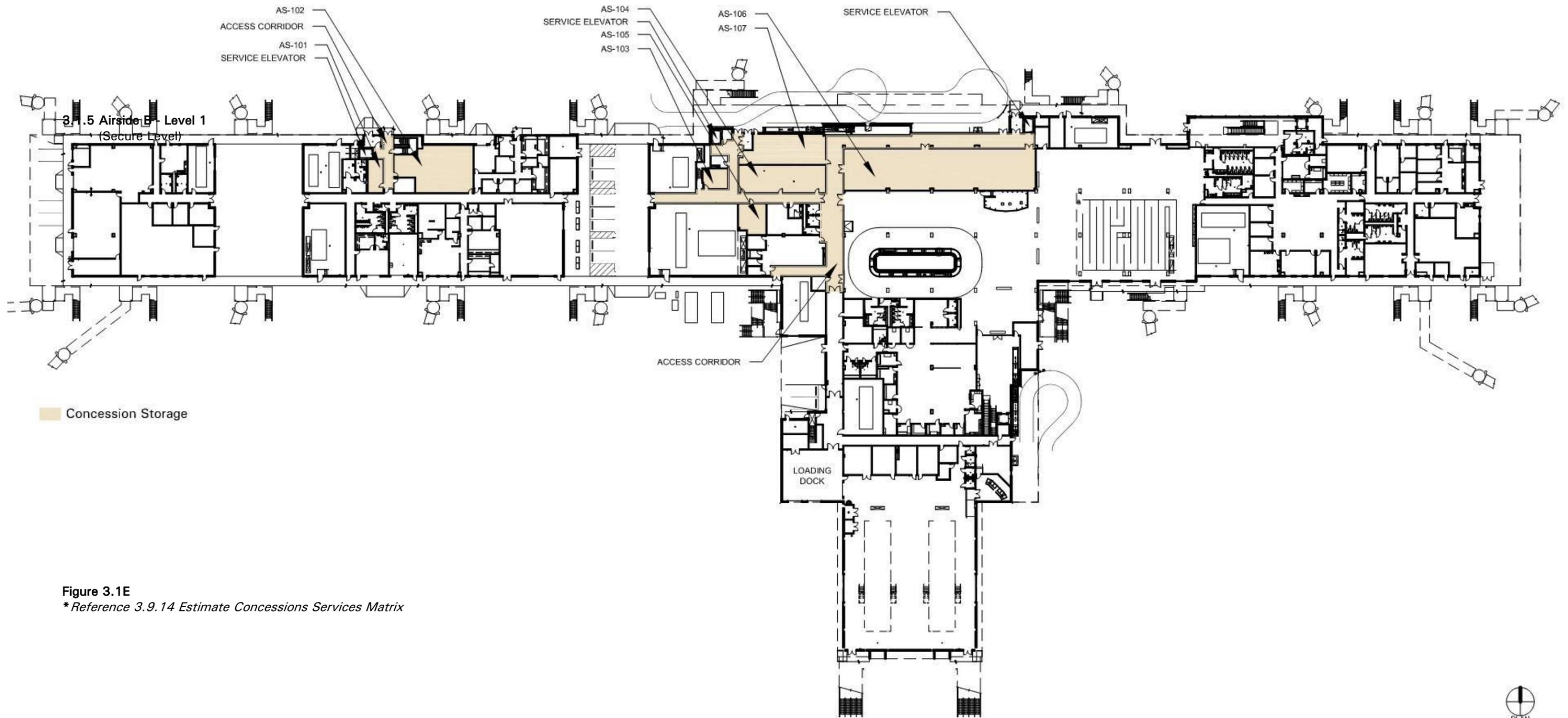
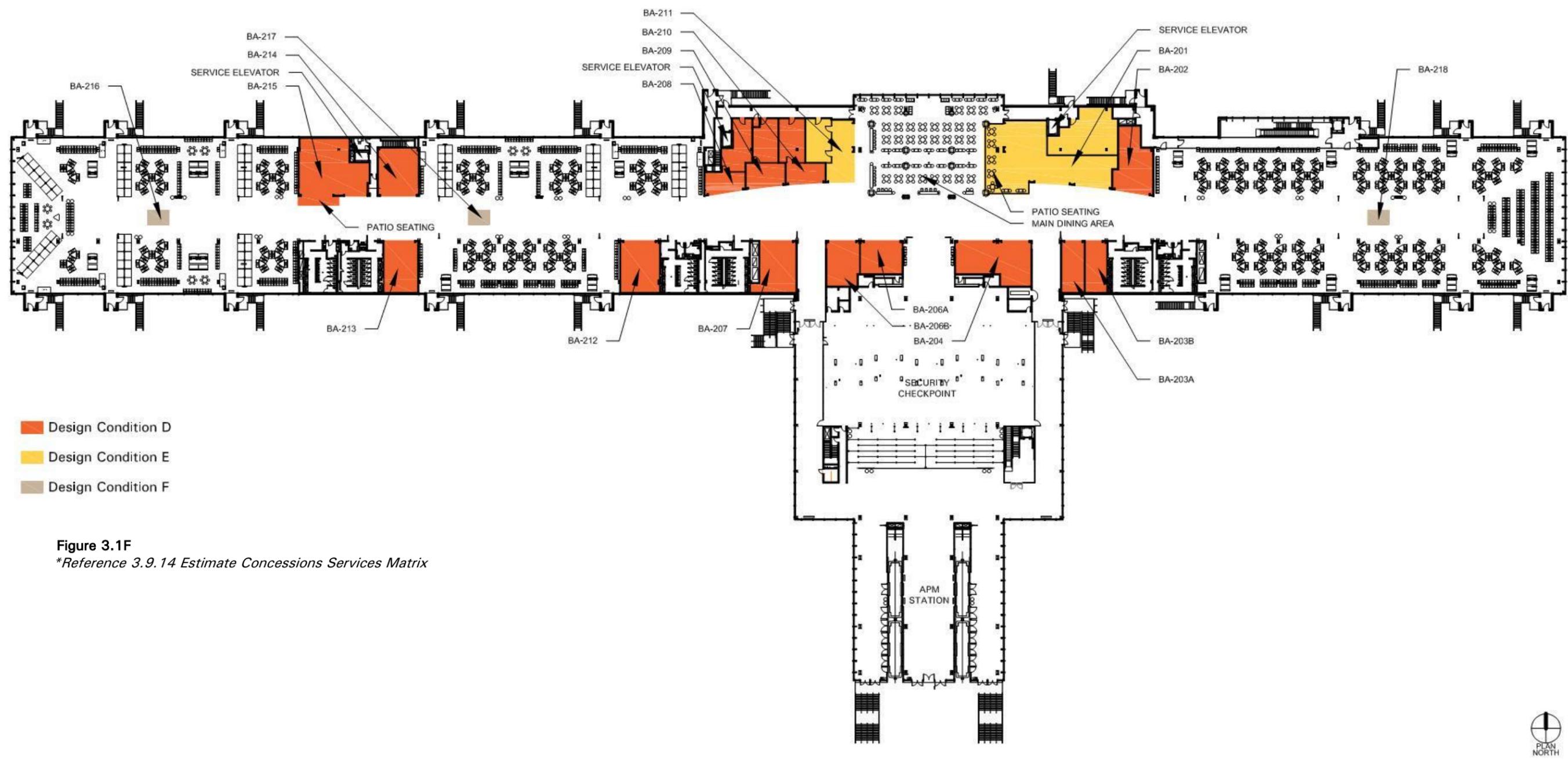


Figure 3.1E
** Reference 3.9.14 Estimate Concessions Services Matrix*

3.1.6 Airside B - Level 2
(Secure Level)



- Design Condition D
- Design Condition E
- Design Condition F

Figure 3.1F
*Reference 3.9.14 Estimate Concessions Services Matrix



3.2 Central Terminal B Design Conditions

3.2.1 Design Condition A - In-Line Storefront

The In-Line Storefront design condition is identified by the presence of a single storefront. The front edge of the storefront and parallel signage are aligned along the public circulation path. The parallel signage consists of a horizontal signage zone as well as a blade sign projecting into the circulation. The architectural conditions of the terminal, including ceiling height and wall finish may vary depending on the location of the leasehold. Refer to the specific design conditions listed in this Section for additional information.



Figure A

Design Condition A1 – In-Line Storefront

This design condition occurs along the north end of the terminal at Level 3 and is located below the high signature roof line with ceiling heights to 30' above the finished floor. Since the design condition is visible from the ticketing hall one level below, the Tenant is required to construct a vertical sign above the neutral frame as three-dimensional graphics attracting customers to the shopping level. The Tenant is encouraged to be creative with the three-dimensional graphic and it is recommended that it reflect the type and character of the concession, whether a local or national brand.

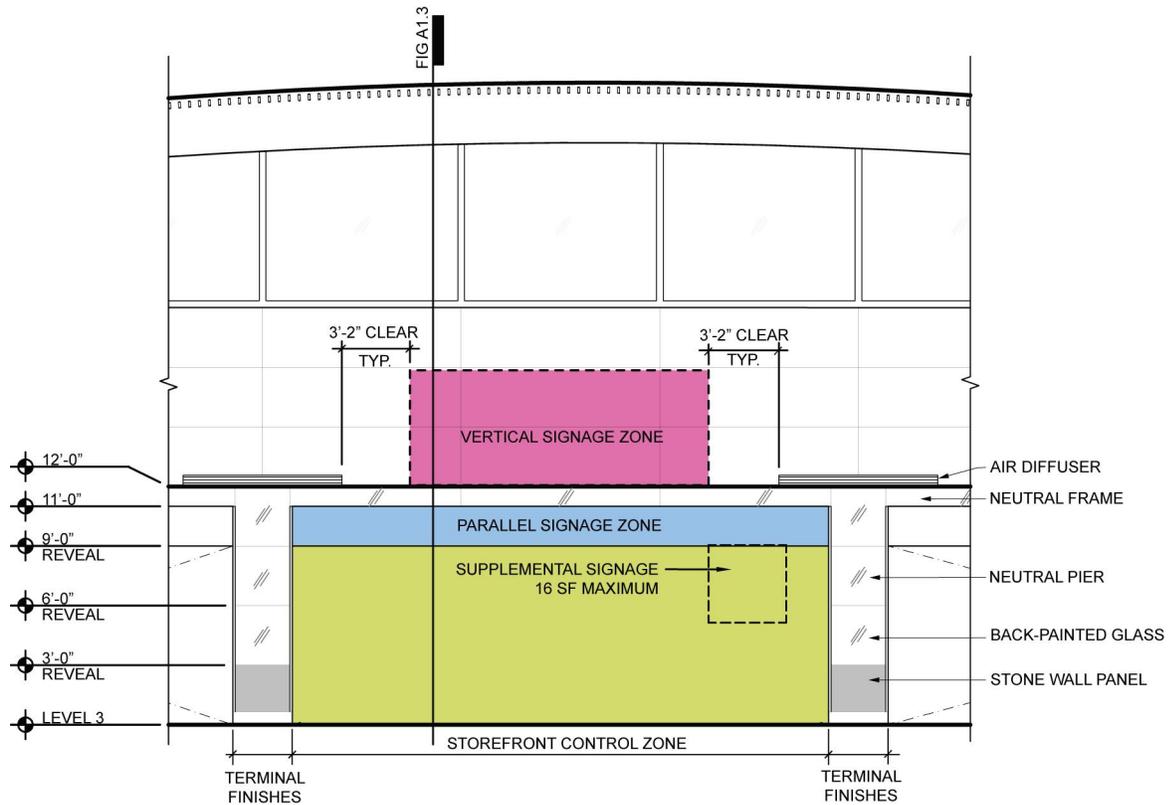


Figure A1.1 Elevation

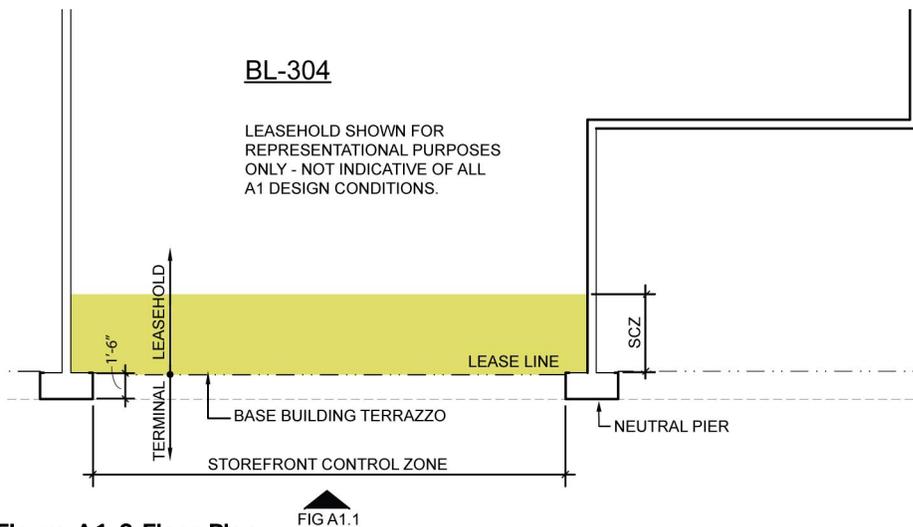


Figure A1.2 Floor Plan

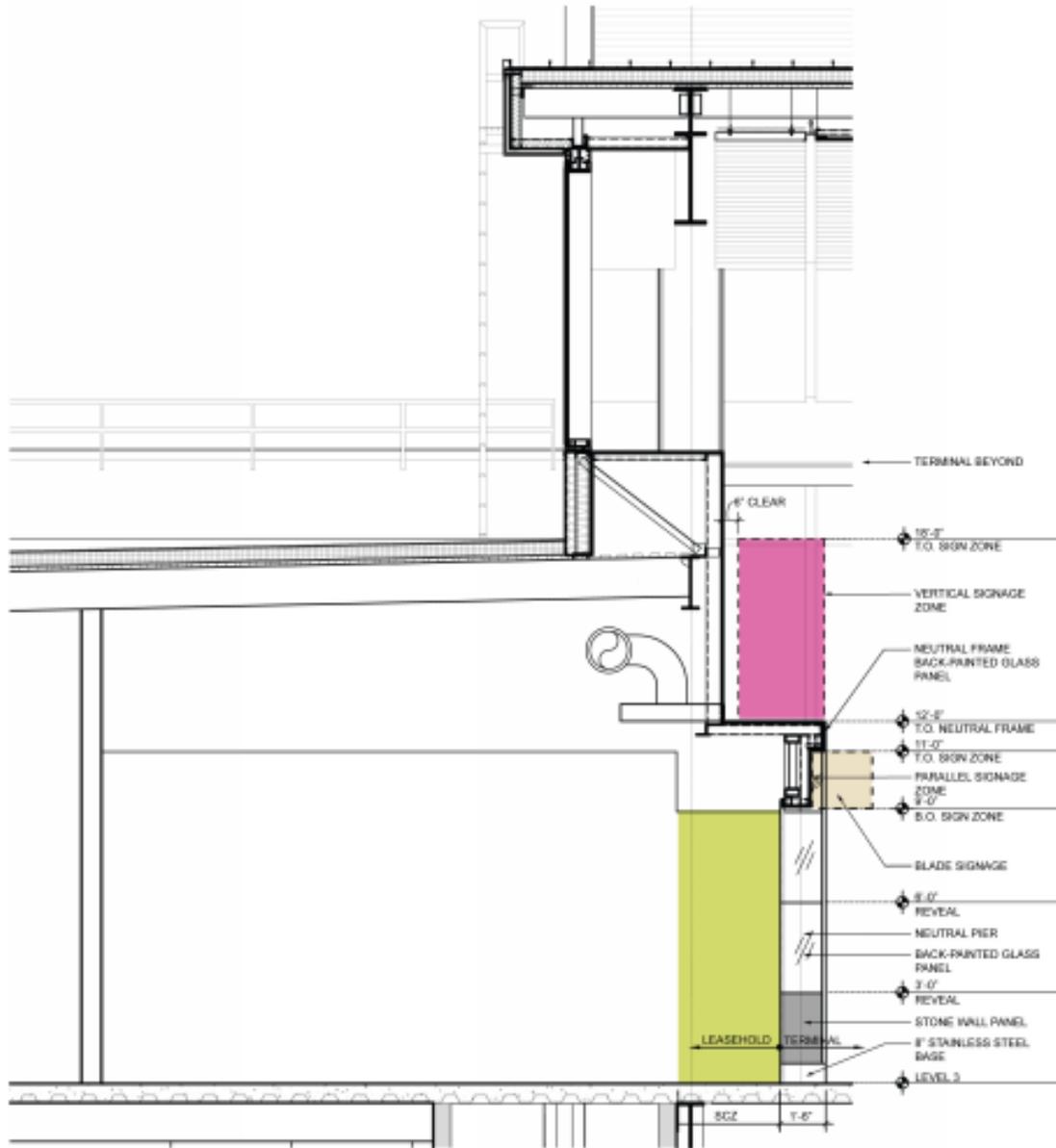


Figure A1.3 Section

Design Condition A2 – In-Line Concessions

This design condition occurs along the north end of the terminal and is located along the primary access route to/from the aircraft gates at Level 3, adjacent to the APM station. Terminal ceiling heights vary at this design condition, ranging up to 14' above finished floor.

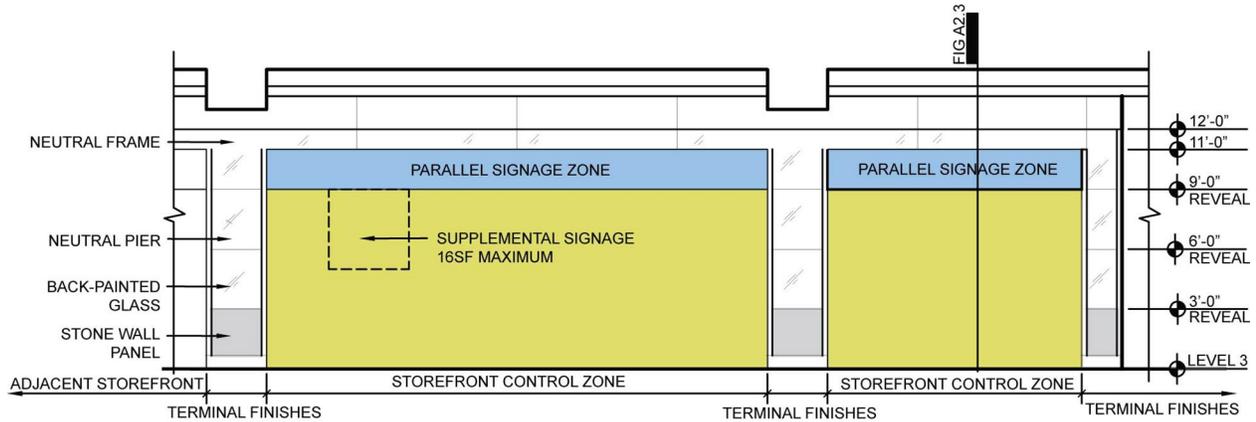


Figure A2.1 Elevation

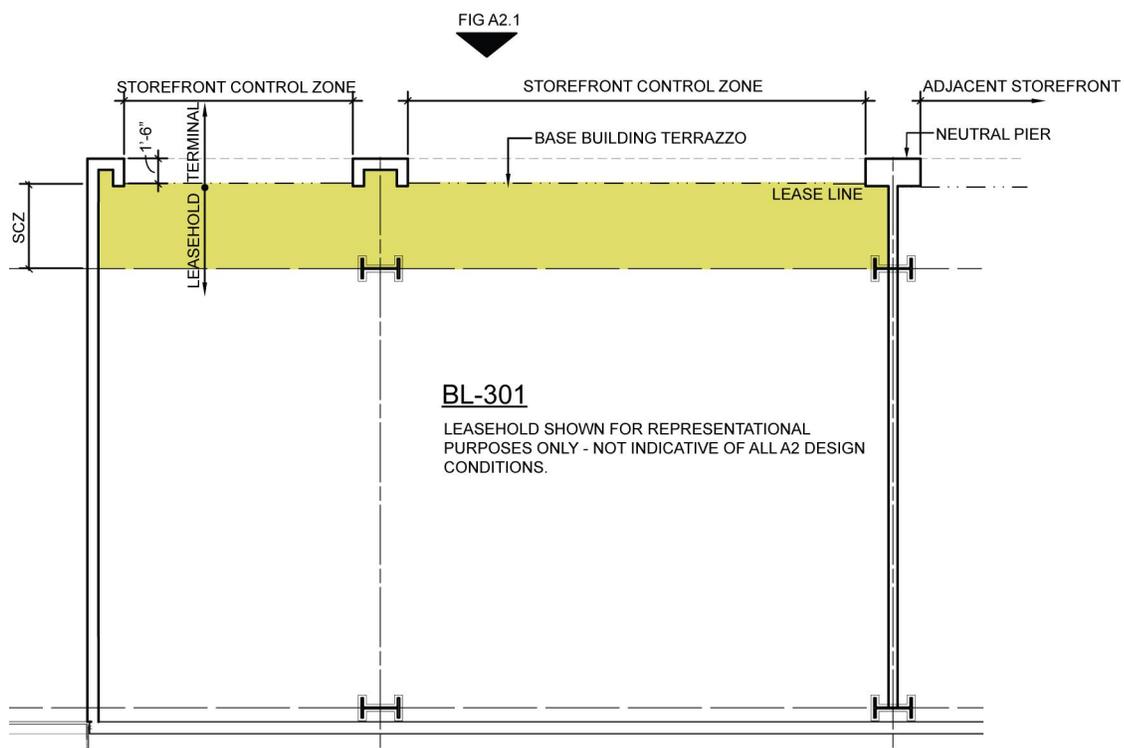


Figure A2.2 Floor Plan

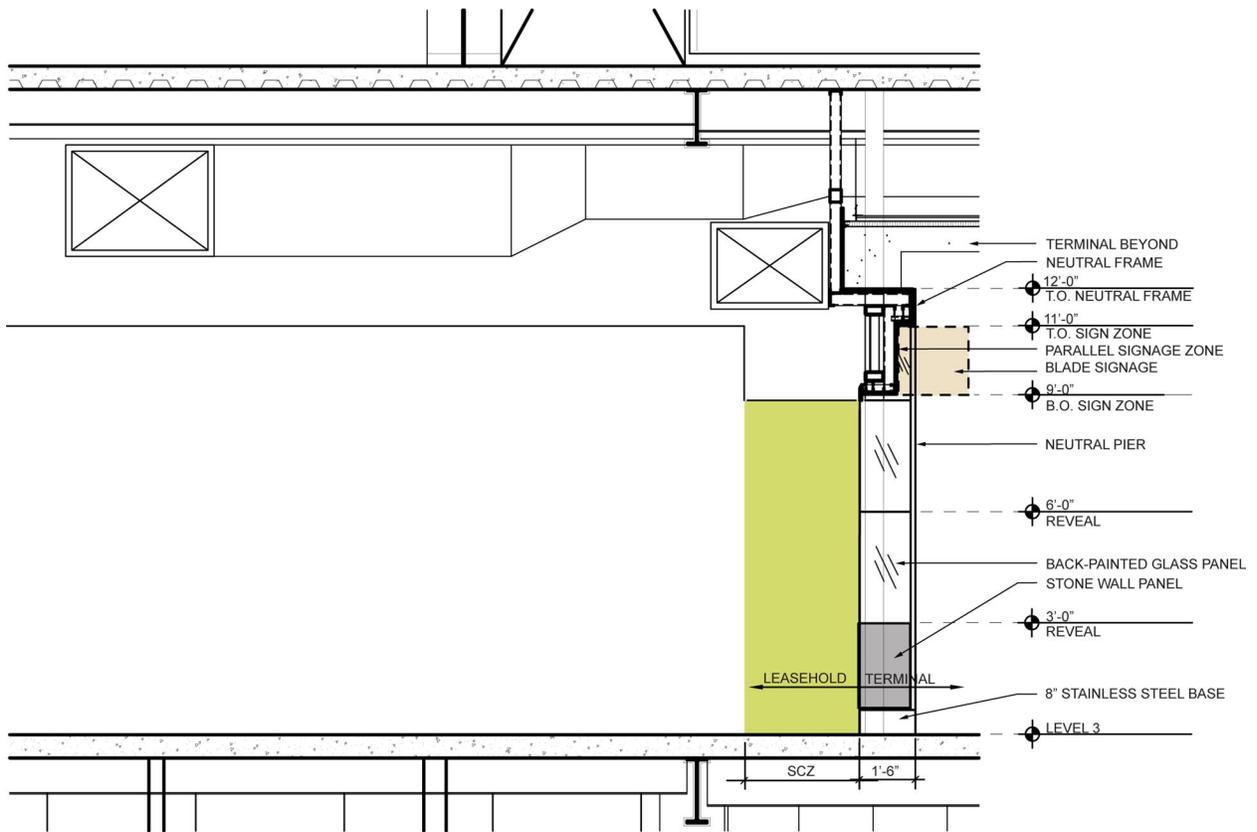


Figure A2.3 Section

Design Condition A3 – In-Line Concessions

This design condition occurs along the north end of the terminal and is located at the Arrivals Level. Terminal ceiling height is a fixed dimension of 18' above finished floor at this design condition. The leasehold is located between the east and west baggage claim halls.

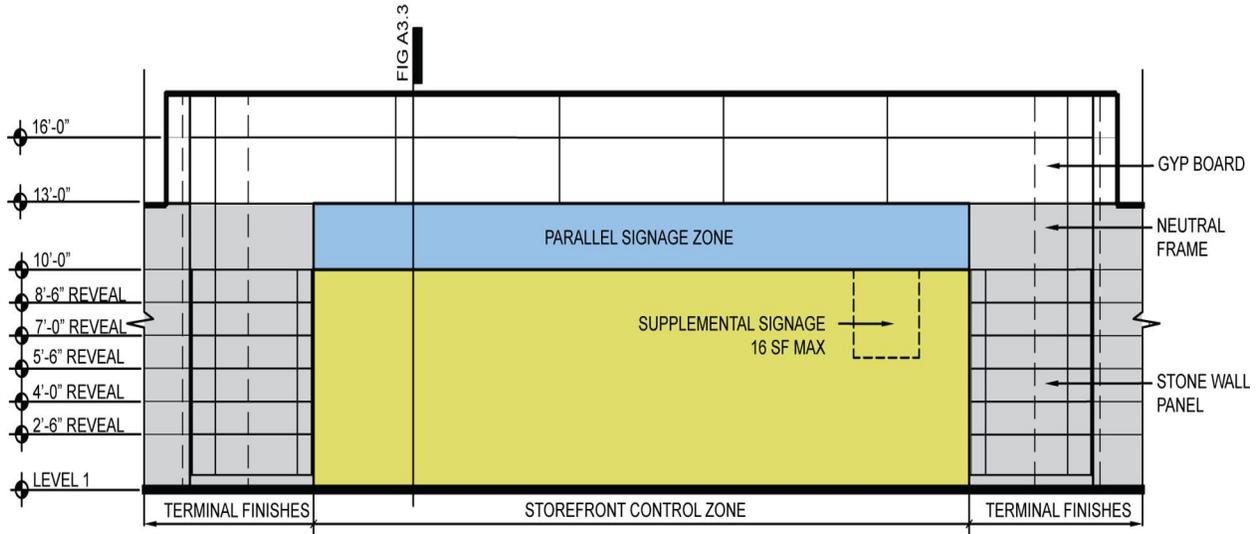


Figure A3.1 Elevation

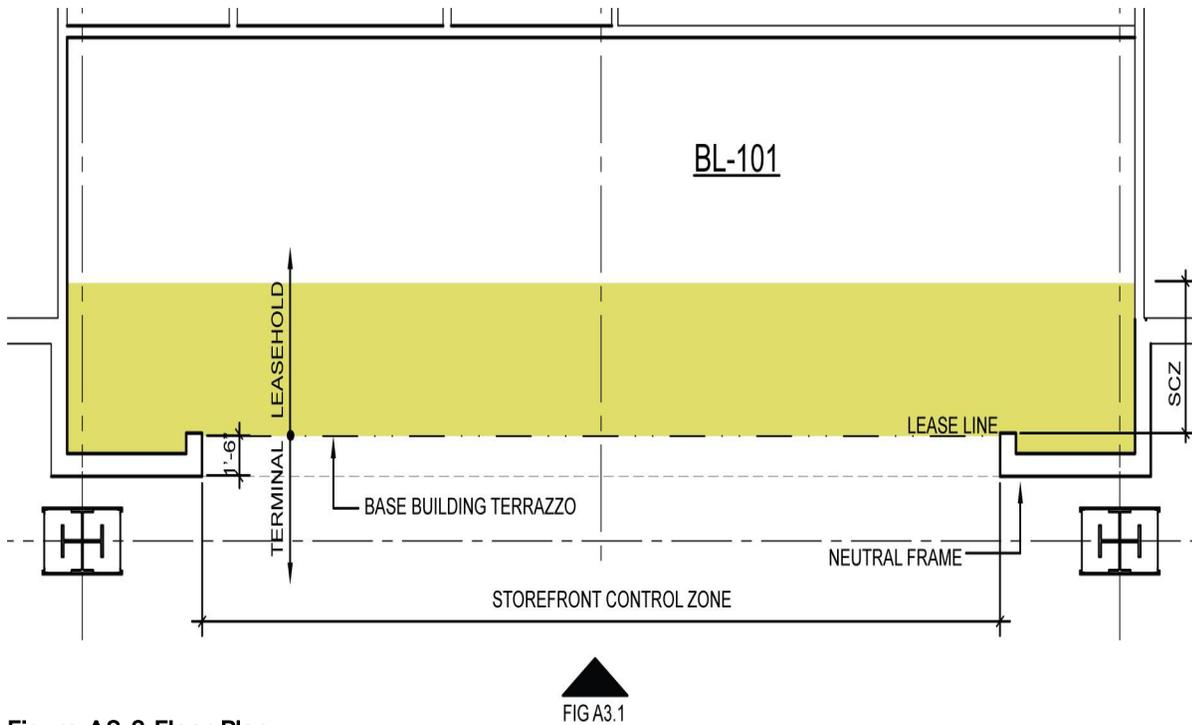


Figure A3.2 Floor Plan

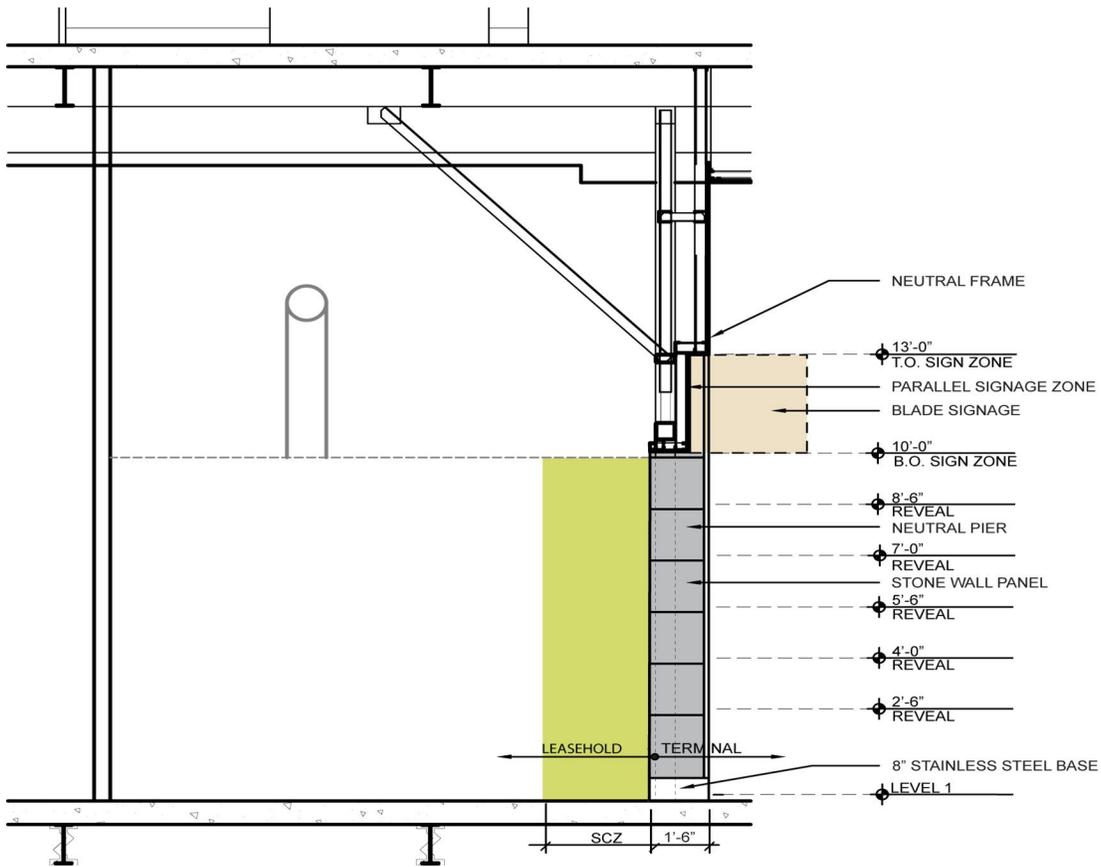


Figure A3.3 Section

3.2.2 Design Condition B - Corner Storefront

The Corner Storefront design condition is identified by the presence of two in-line storefronts. The front edge of each storefront and parallel signage are aligned along the public circulation path. The parallel signage consists of a horizontal signage zone as well as a blade sign projecting into the circulation. The architectural conditions of the terminal, including ceiling height and wall finish may vary depending on the location of the leasehold. Refer to the specific design conditions listed in this Section for additional information.



Figure B

Design Condition B1 – Corner Storefront

This design condition occurs along the north end of the terminal. One in-line storefront is located along the primary access route to/from the aircraft gates, adjacent to the APM station. Terminal ceiling heights vary at this design condition, ranging up to 14' above finished floor. The south facing storefront is located below the high signature roof line with ceiling heights to 30' above the finished floor. Since the design condition is visible from the ticketing hall one level below, the Tenant is **required** to construct a vertical sign above the neutral frame as three-dimensional graphics attracting customers to the shopping level. The Tenant is encouraged to be creative with the three-dimensional graphic and it is recommended that it reflect the type and character of the concession, whether a local or national brand.

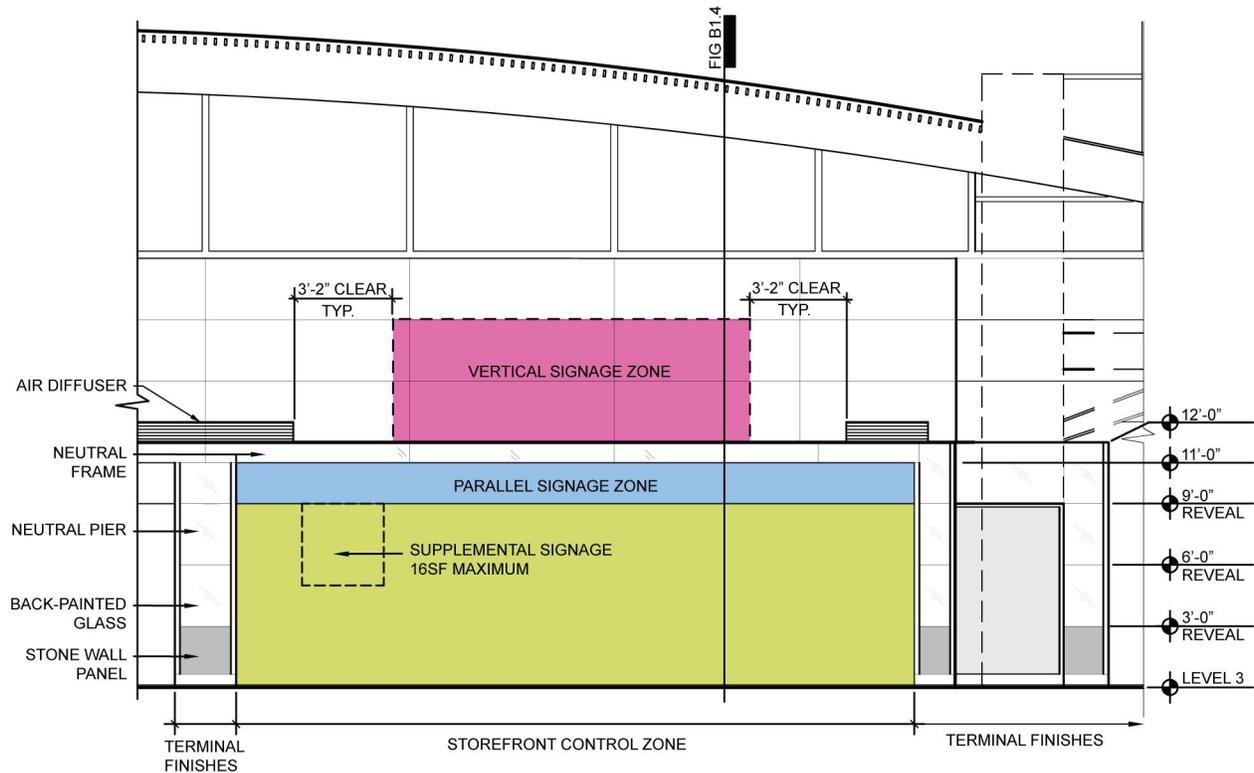


Figure B1.1 Elevation

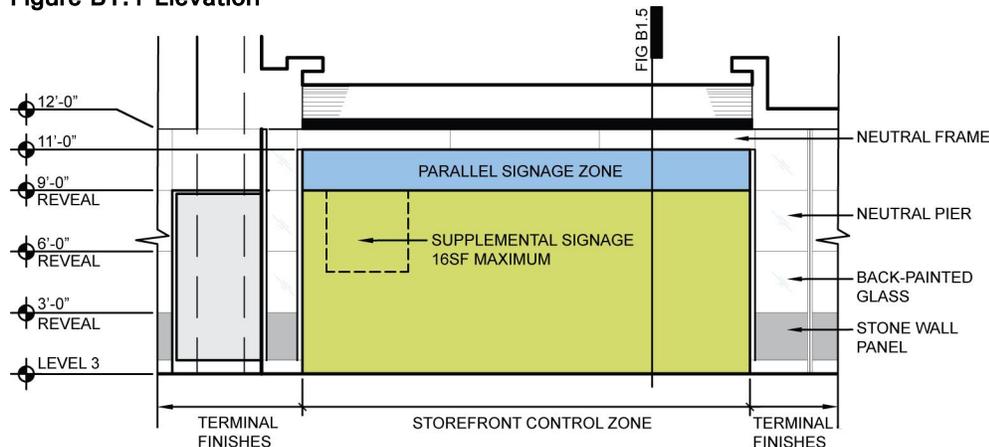


Figure B1.2 Elevation

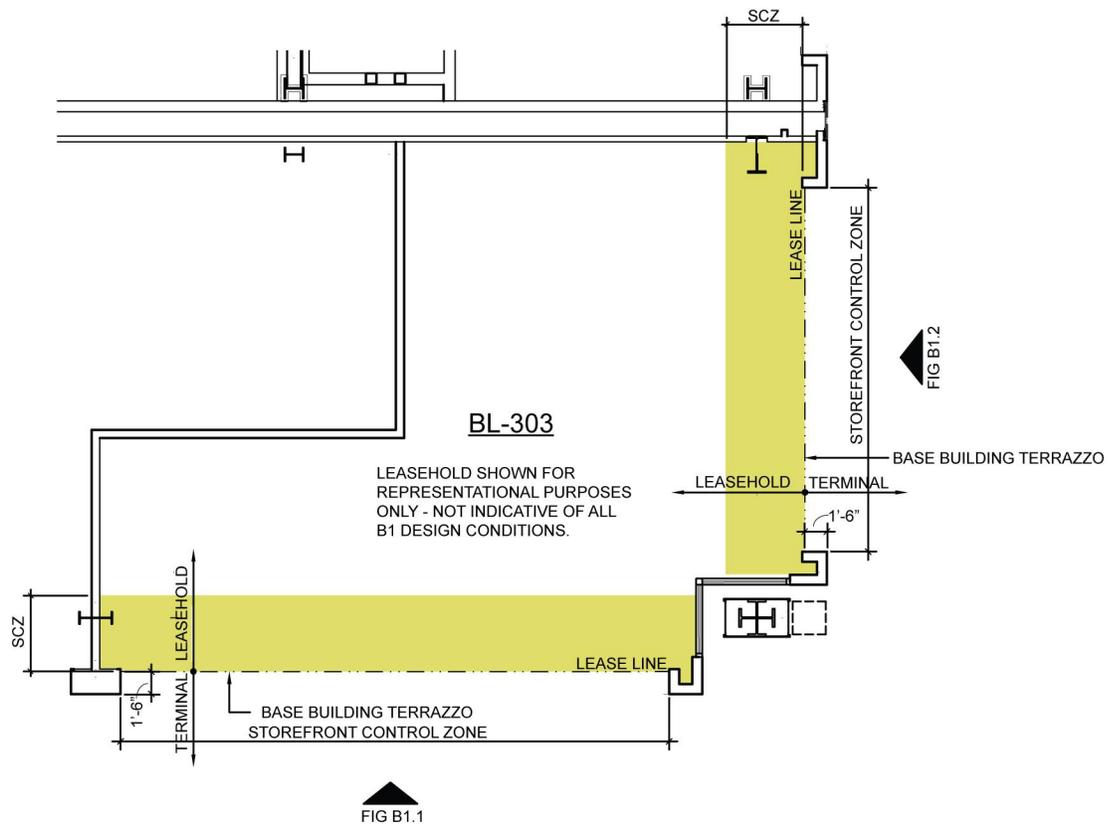


Figure B1.3 Floor Plan

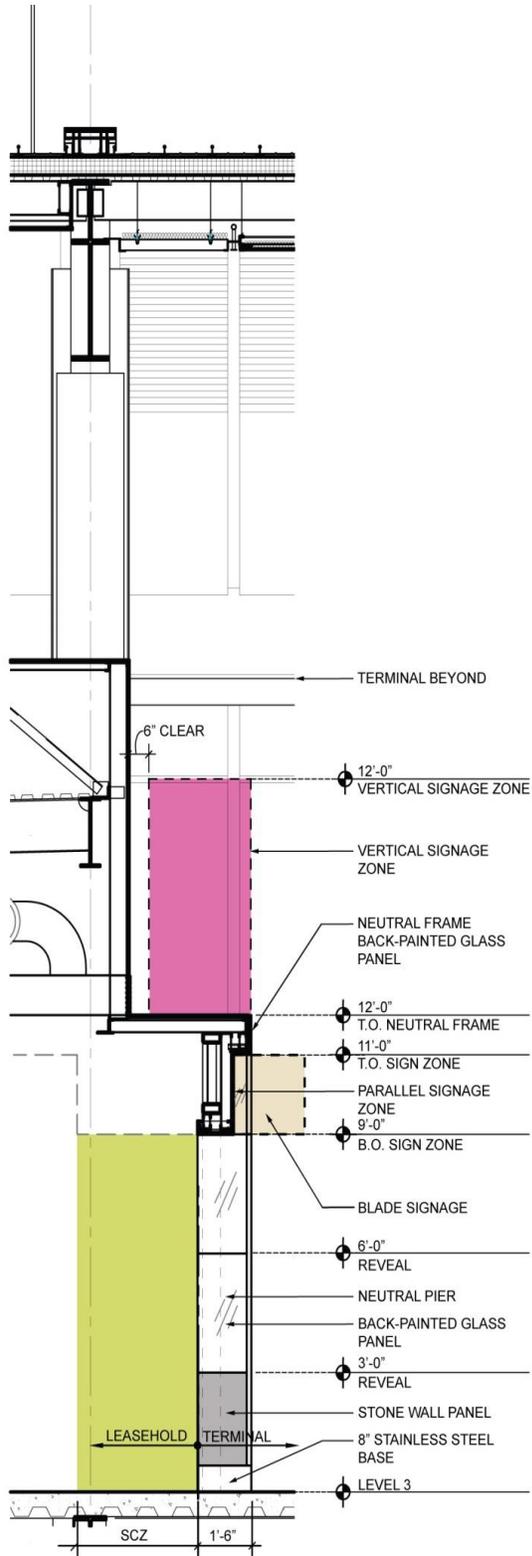


Figure B1.4 Section

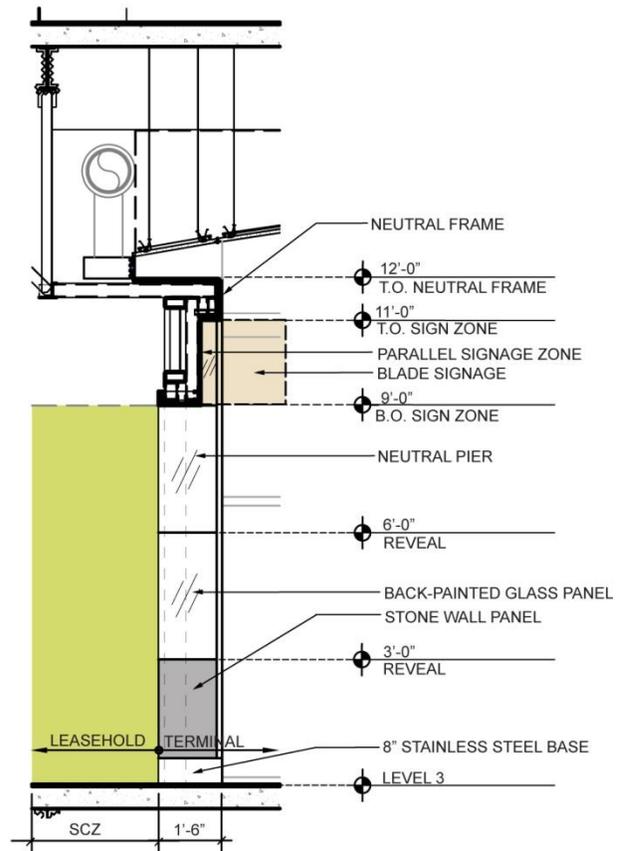


Figure B1.5 Section

Design Condition B2 – Corner Storefront

This design condition occurs along the north end of the terminal and is located along the primary access route to/from the aircraft gates, adjacent to the APM station. Terminal ceiling heights vary at this design condition, ranging up to 14' above finished floor.

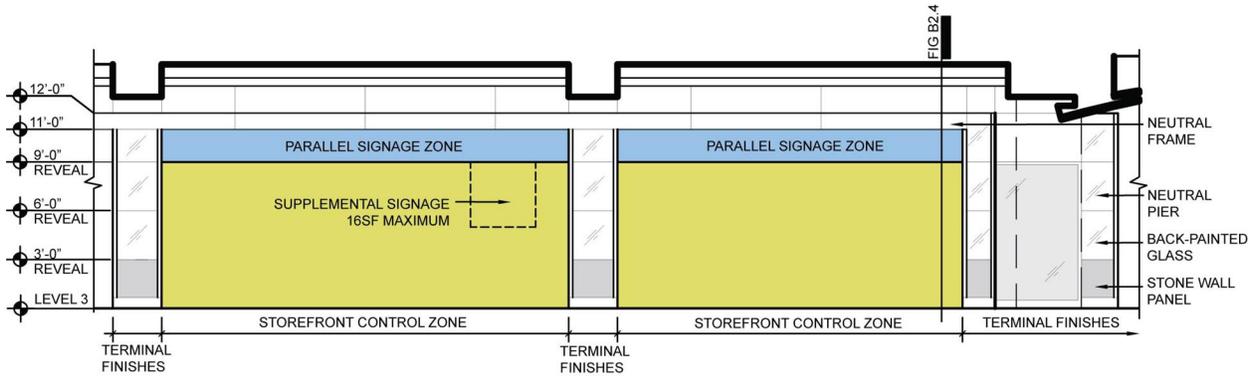


Figure B2.1 Elevation

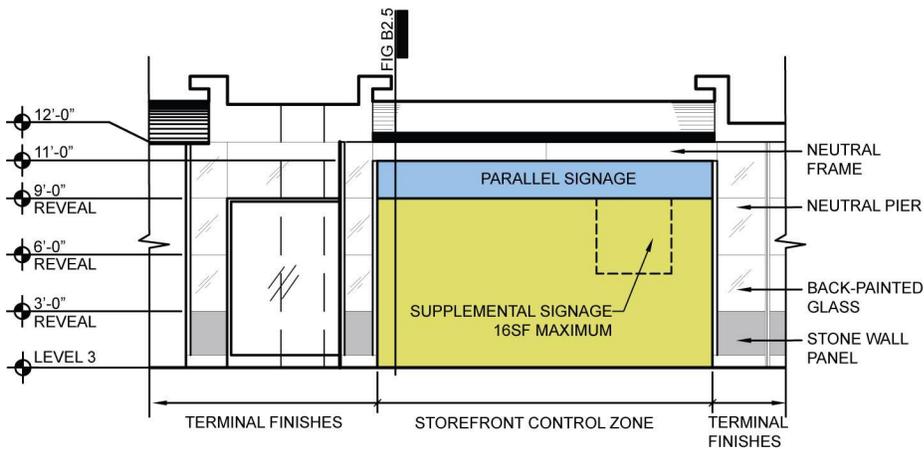


Figure B2.2 Elevation

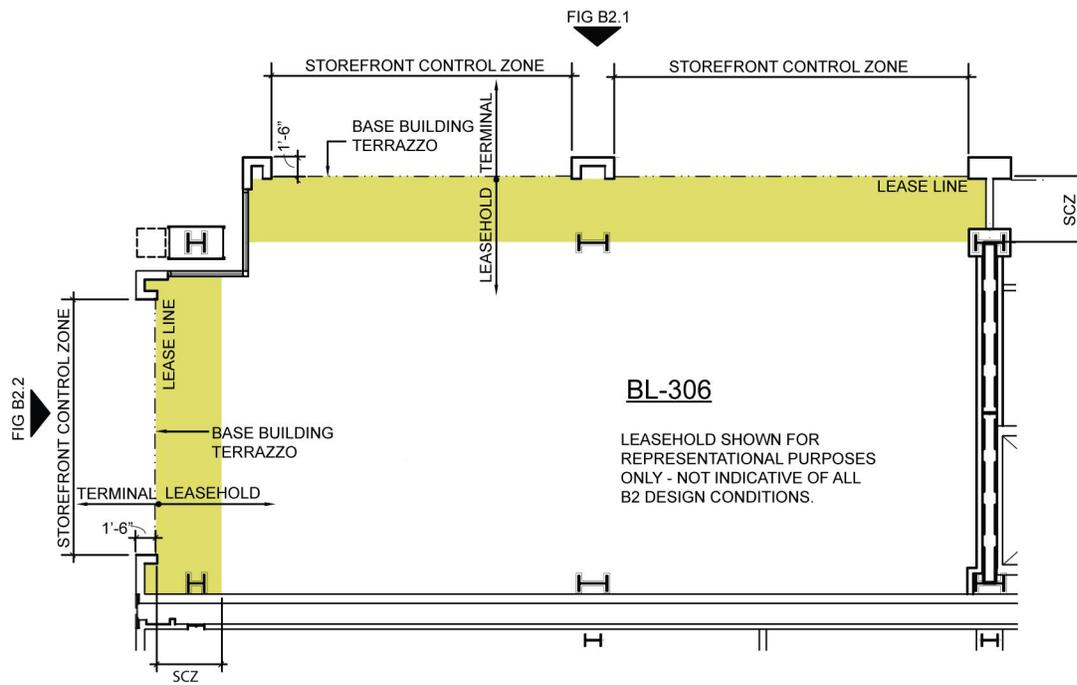


Figure B2.3 Plan

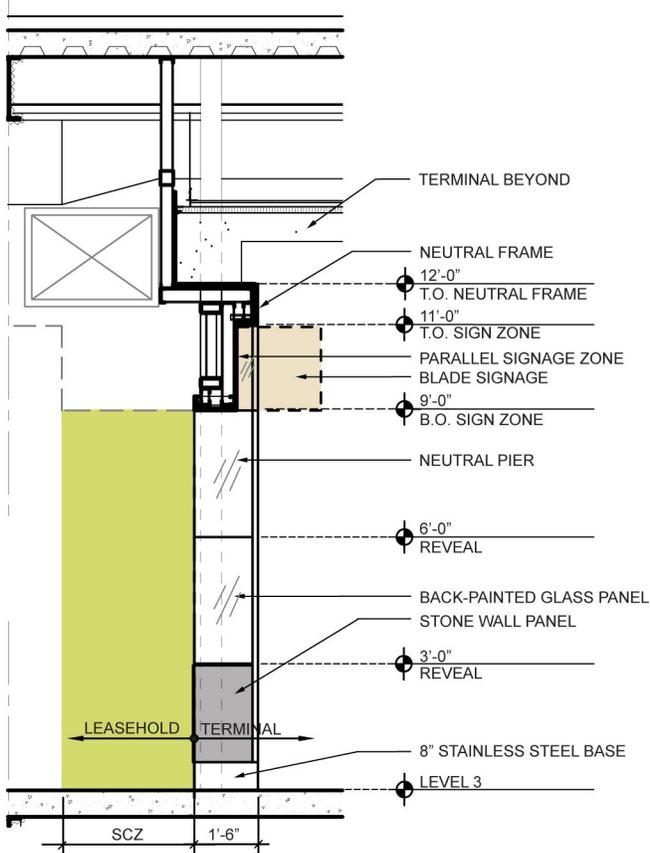


Figure B2.4 Section

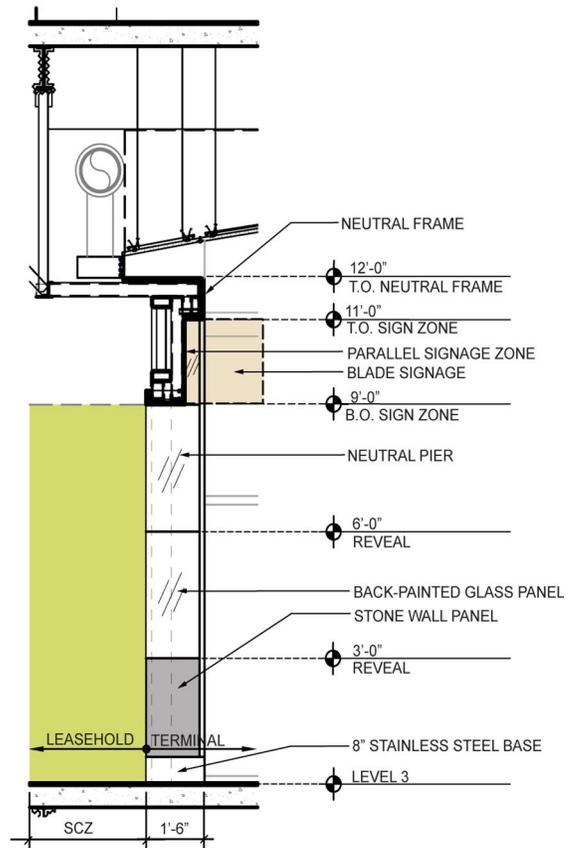


Figure B2.5 Section

3.2.3 Design Condition C - Kiosk

The Kiosk design condition is an individual, freestanding, self-contained concession unit. The kiosk may consist of a counter, open, canopy/signage and tower zone. The design of the kiosk must account for its visibility from the ticketing hall below.



Figure C

Note: SCDOA encourages the Tenant to incorporate the existing floor mounted light fixtures into the kiosk design. If the Tenant's design requires removal of the fixtures, the Tenant shall remove and store the fixtures at the APC's direction. The Tenant is required to provide an approved cover plate at the j-box in place of the light pole.

Design Condition C1 - Kiosk

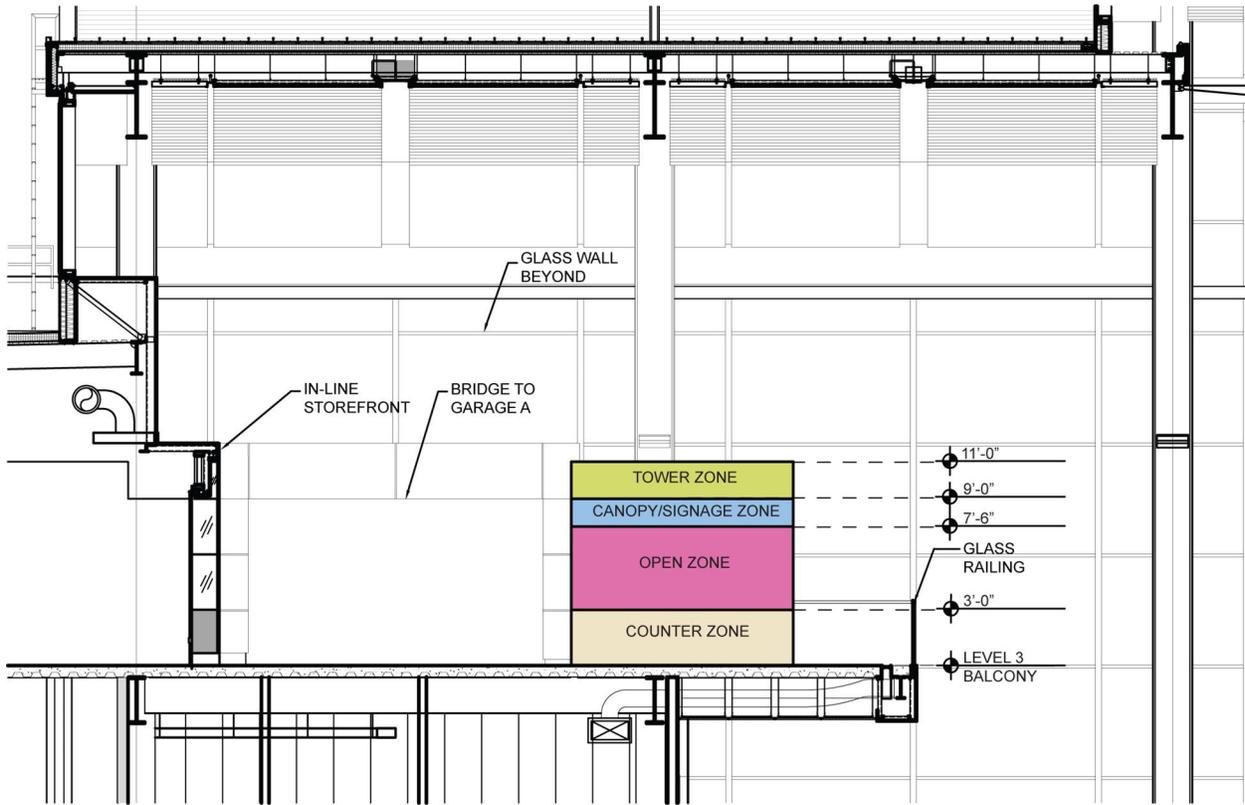


Figure C1.1 Elevation

Note: An acceptable transaction counter must be incorporated in the kiosk design

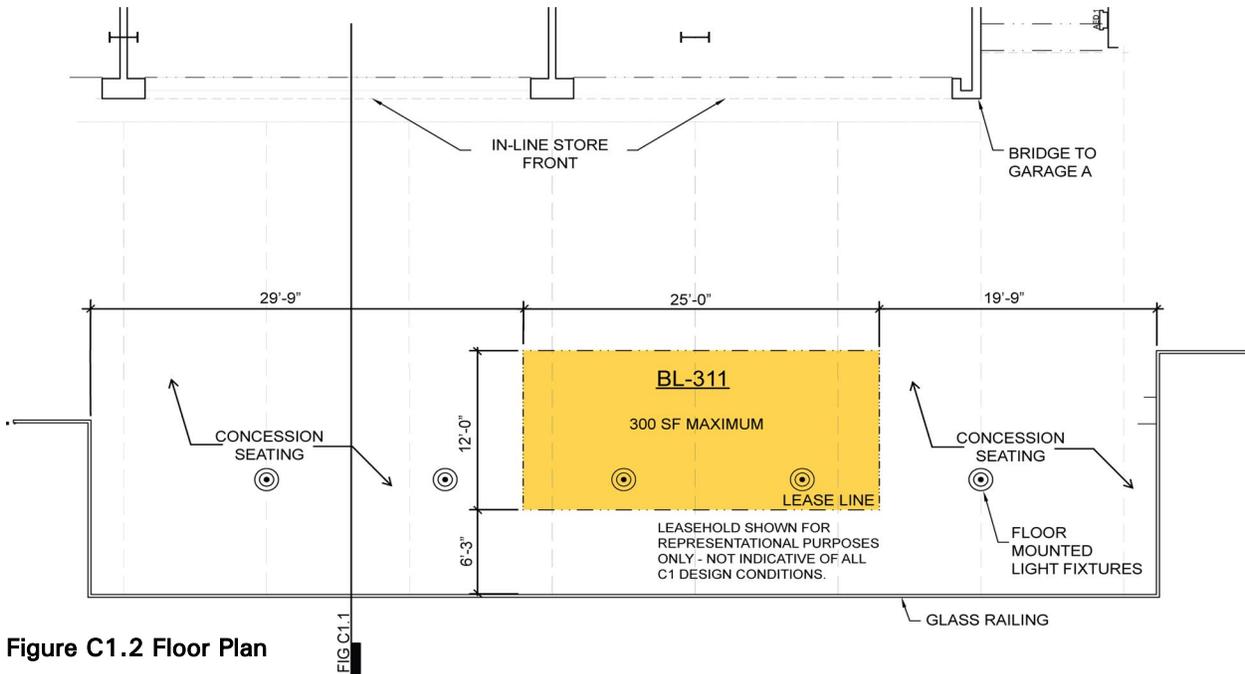


Figure C1.2 Floor Plan

3.3 Airside B Design Conditions

3.3.1 Design Condition D - In-Line Storefront

The In-Line Storefront design condition is identified by the presence of a single storefront. The front edge of the storefront and parallel signage are aligned along the public circulation path. The parallel signage consists of a horizontal signage zone as well as a blade sign projecting into the circulation. The architectural conditions of the terminal, including ceiling height and wall finish may vary depending on the location of the leasehold. Refer to the specific design conditions listed in this Section for additional information.



Figure D

Design Condition D1 – In-Line Storefront

This design condition occurs after security and along the main public concourse circulation zone. Concourse ceiling heights vary at this design condition, ranging up to 25' above finished floor depending on the location of the leasehold.

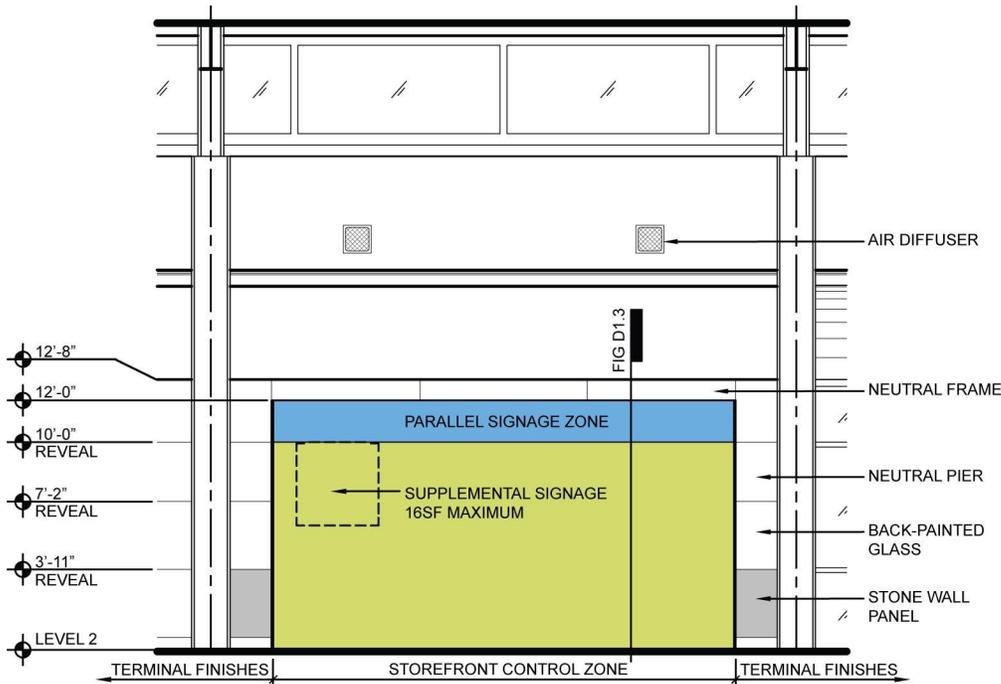


Figure D1.1 Elevation

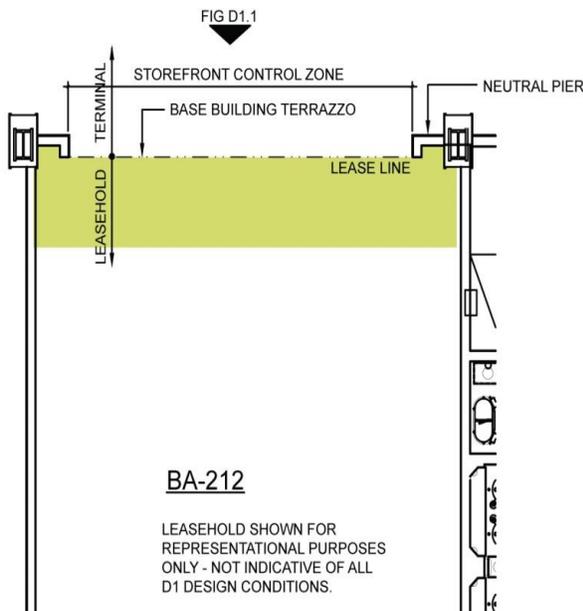


Figure D1.2 Floor Plan

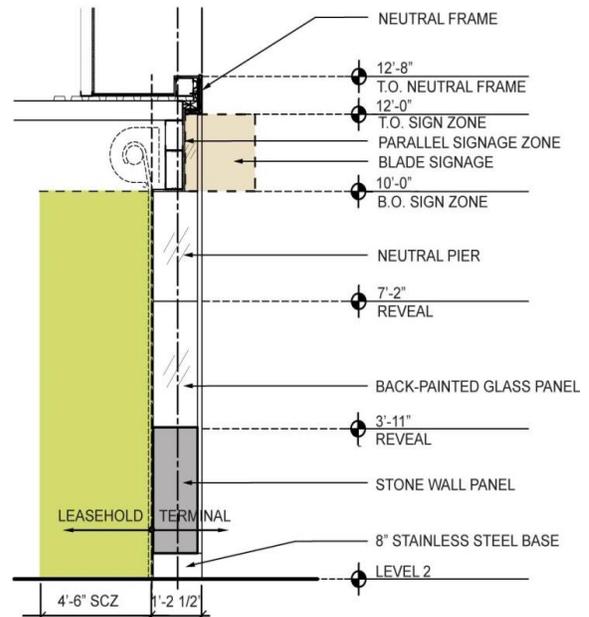


Figure D1.3 Section

Design Condition D2 – In-Line Storefront

This design condition occurs after security and along the main public concourse circulation zone. Terminal ceiling heights vary at this design condition, ranging up to 25’ above finished floor depending on the location of the leasehold. At Design Condition D2, a glazed panel is provided for visibility into the leasehold from adjacent gate lounges or public circulation. Note: Leasehold BA-215 is intended to be a bar with a “patio” area extending into the pedestrian pathway. The Tenant is required to provide an SCDOASDOA approved railing around the “patio” area. Furniture layout and specifications for the “patio” shall be submitted with the Tenant’s preliminary design package for approval.

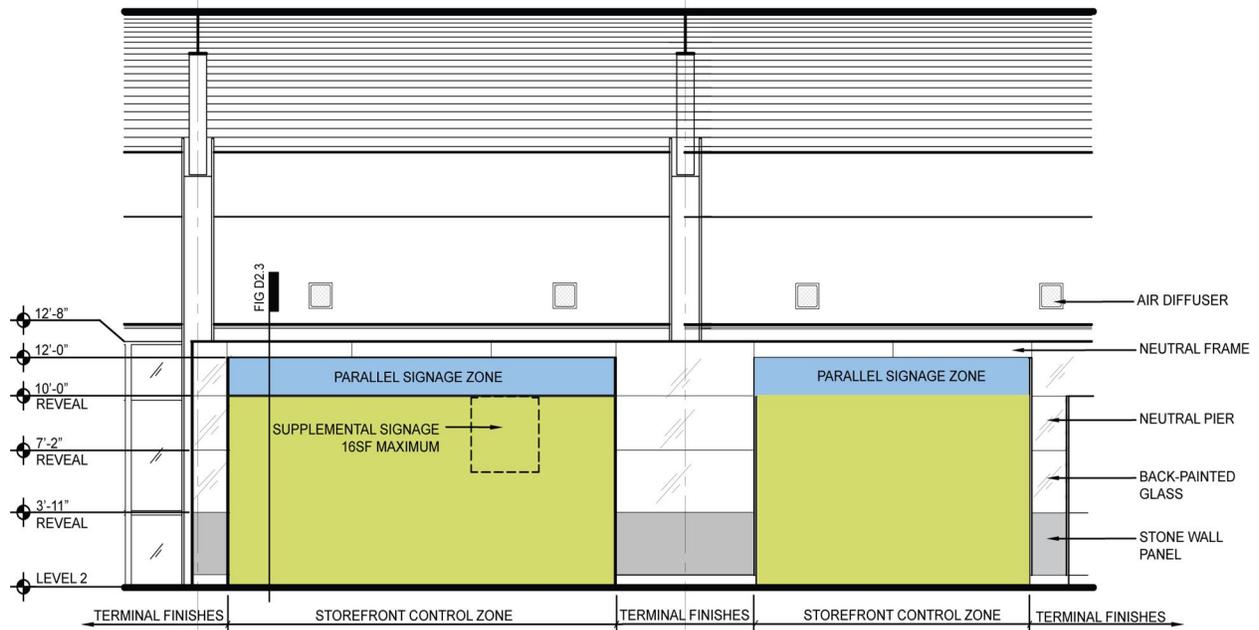


Figure D2.1 Elevation

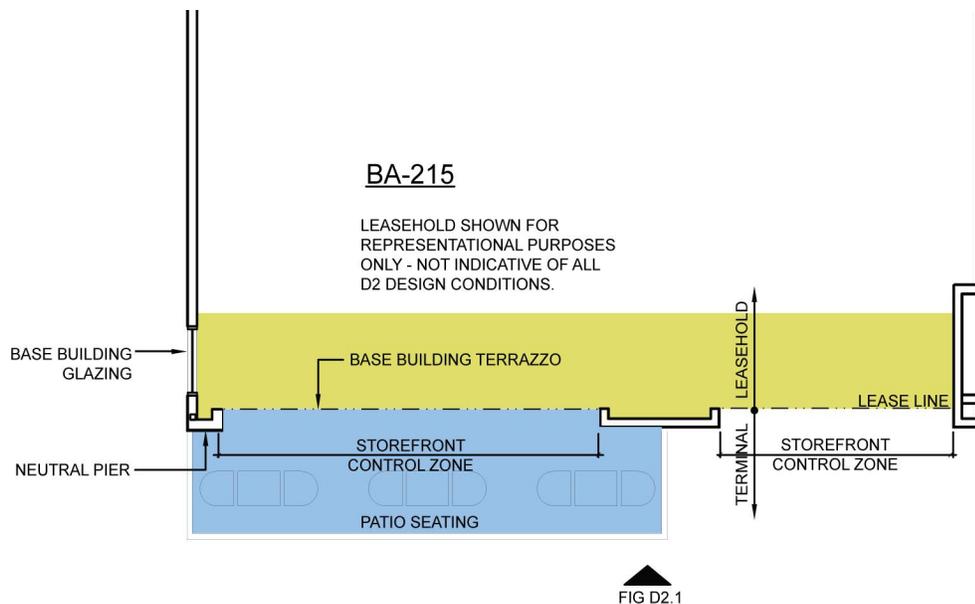


Figure D2.2 Floor Plan

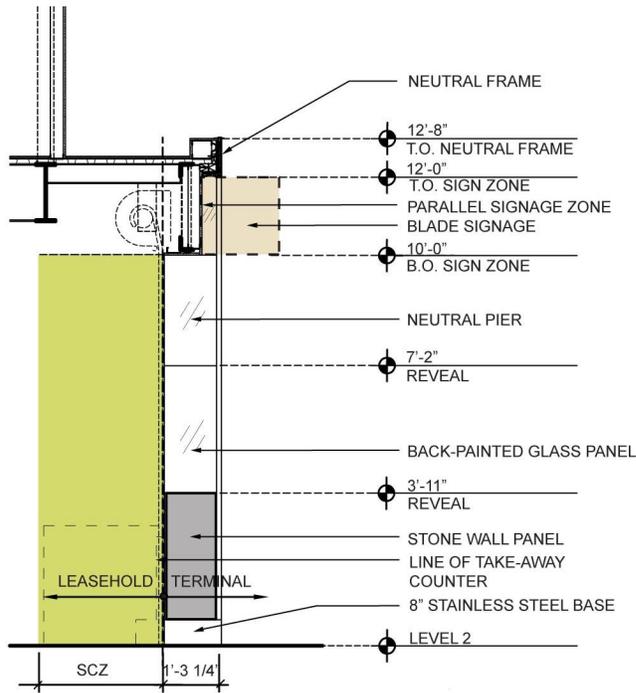


Figure D2.3 Section

Design Condition D3 – In-Line Storefront with or without Take-Away Counter

This in-line design condition is located adjacent to the central food court seating area and is distinguished by a curved neutral frame. The curved neutral frame is designed to allow full vision of all concessions within the central court once a passenger enters the concourse. At designated quick serve locations, Design Condition D3 is required to incorporate a Take-Away Counter; reference section 3.5.2.

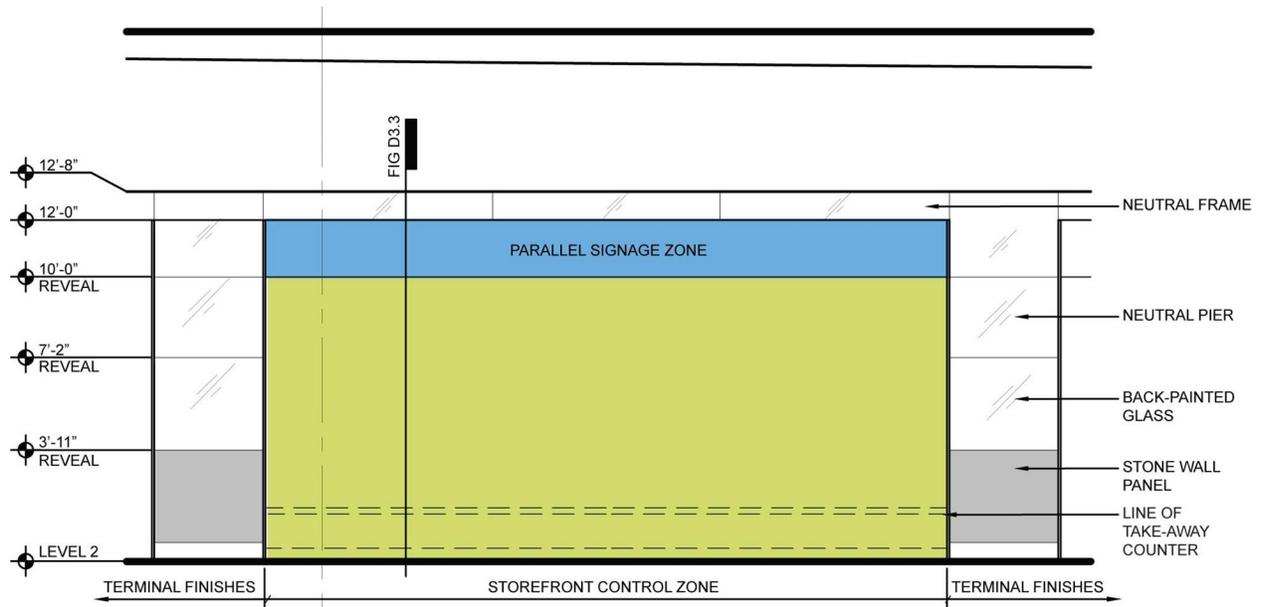


Figure D3.1 Elevation

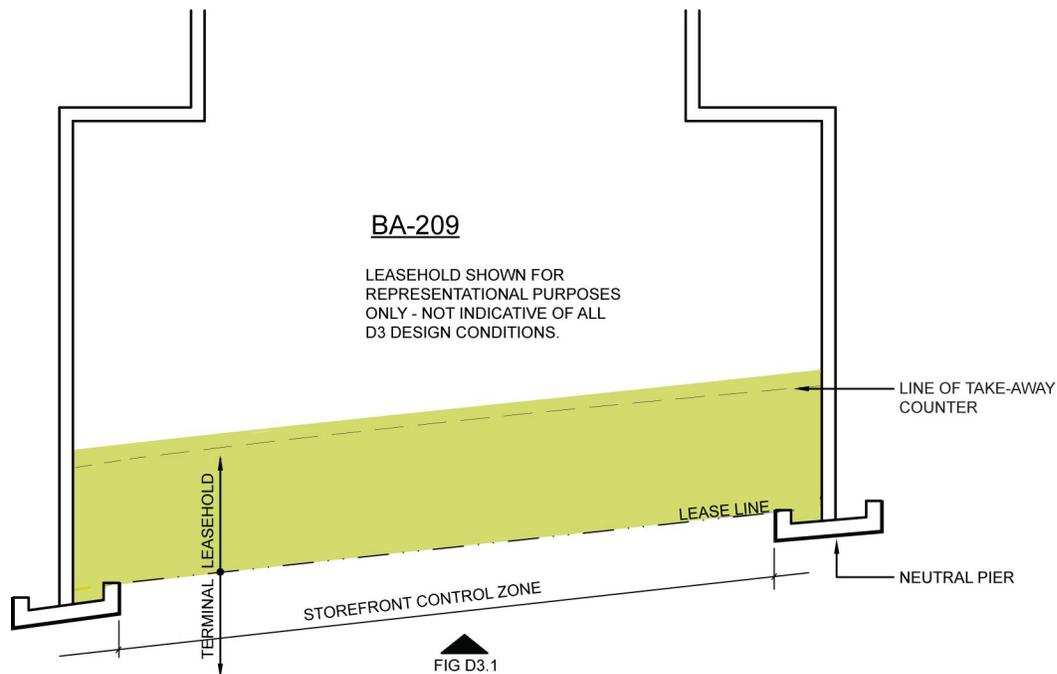


Figure D3.2 Floor Plan

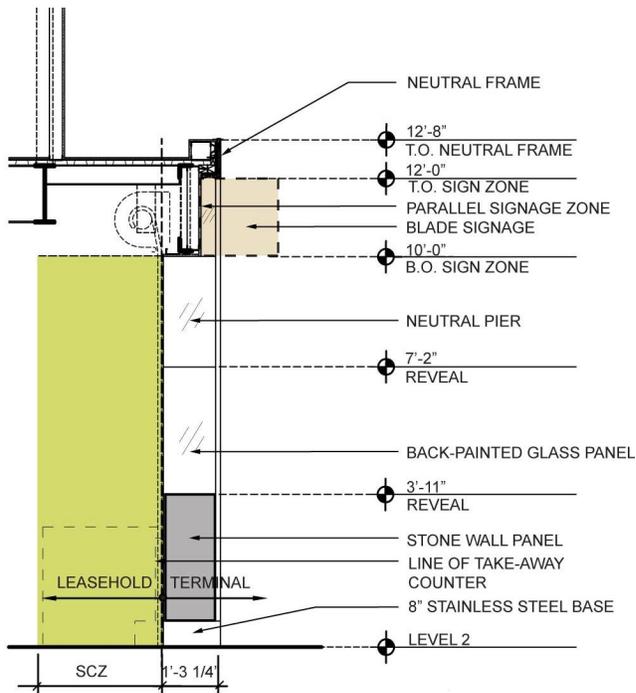


Figure D3.3 Section

* *Reference Section 3.5.2* for Take-Away Counter requirements.

3.3.2 Design Condition E - Corner Storefront

The Corner Storefront design condition is identified by the presence of one continuous in-line frame that wraps to form a corner storefront. The front edge of one of the storefronts is aligned along the public circulation. The other storefront is aligned along the main dining area. The parallel signage above the neutral frame consists of a horizontal signage zone as well as a blade sign projecting into the public circulation for Tenant identification.

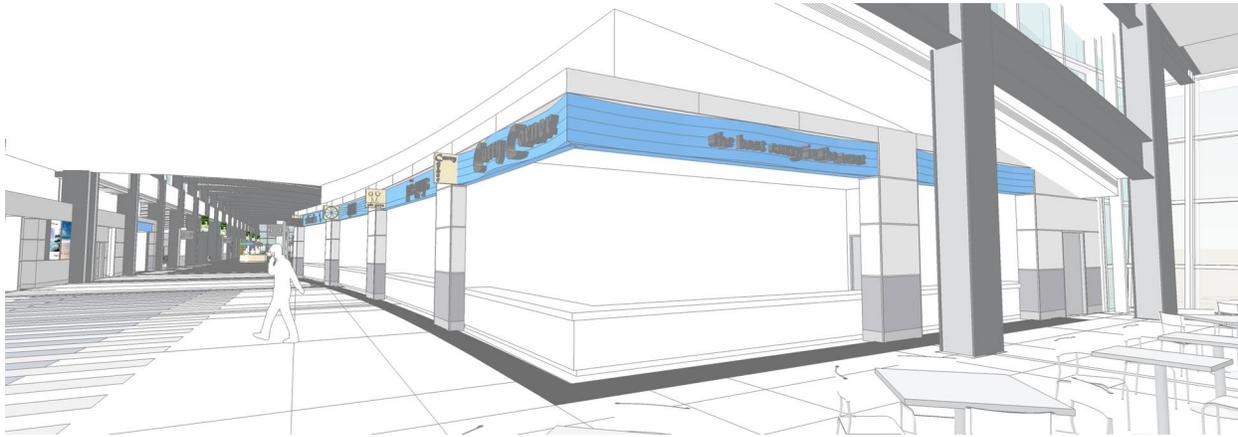


Figure E

Design Condition E1 – Corner Storefront with Take-Away Counter

This design condition occurs along the north side of the concourse and is located within the common food court area. At the E1 design condition, the Tenant is required to provide a take-away counter along both storefronts; reference 3.5.2.

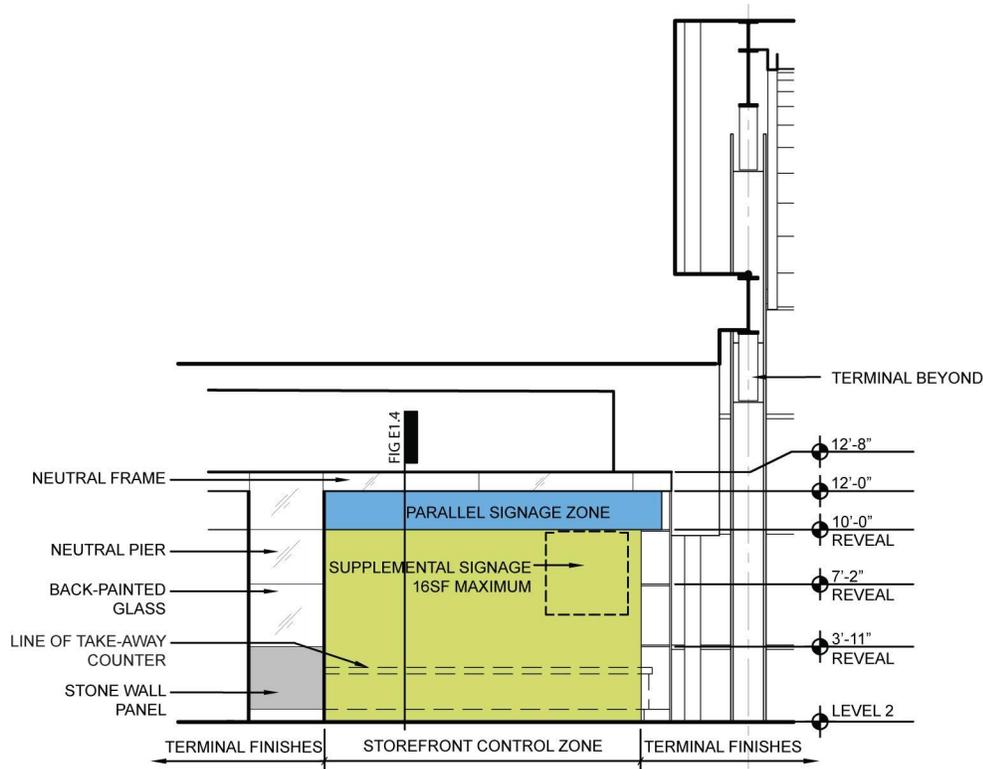


Figure E1.1 Elevation

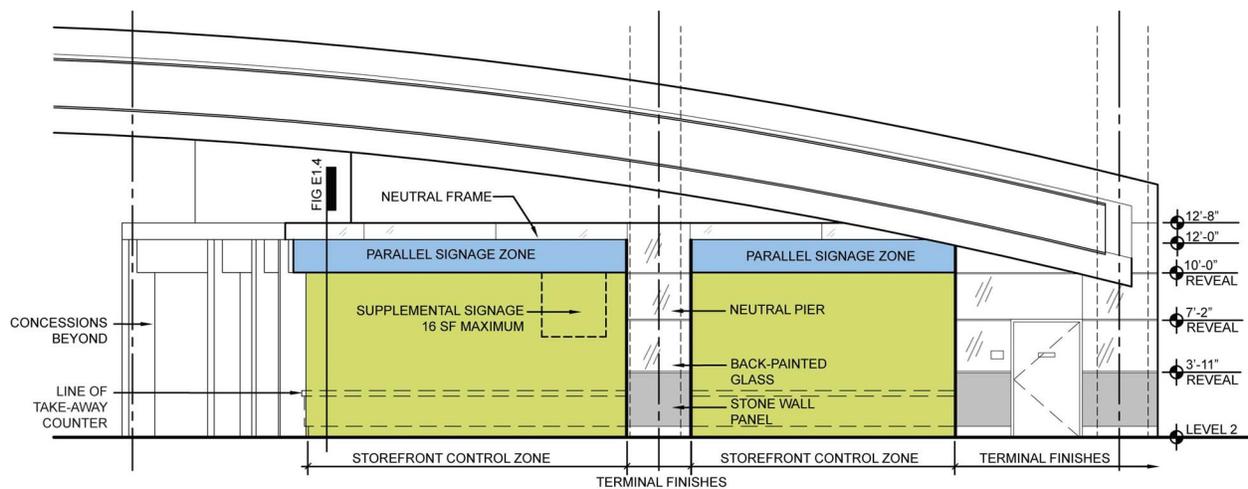


Figure E1.2 Elevation

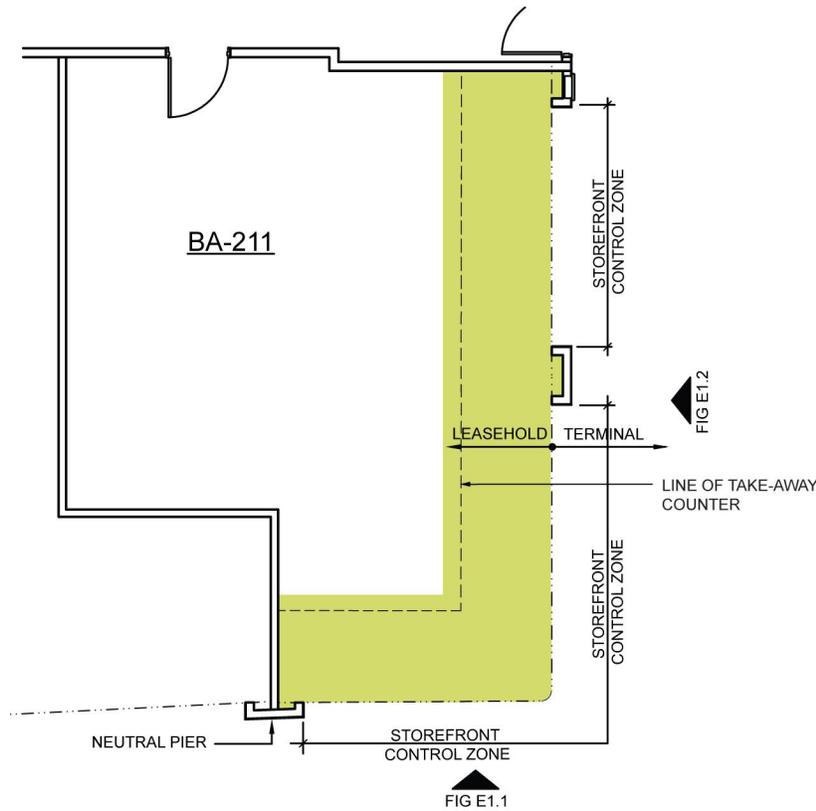


Figure E1.3 Floor Plan

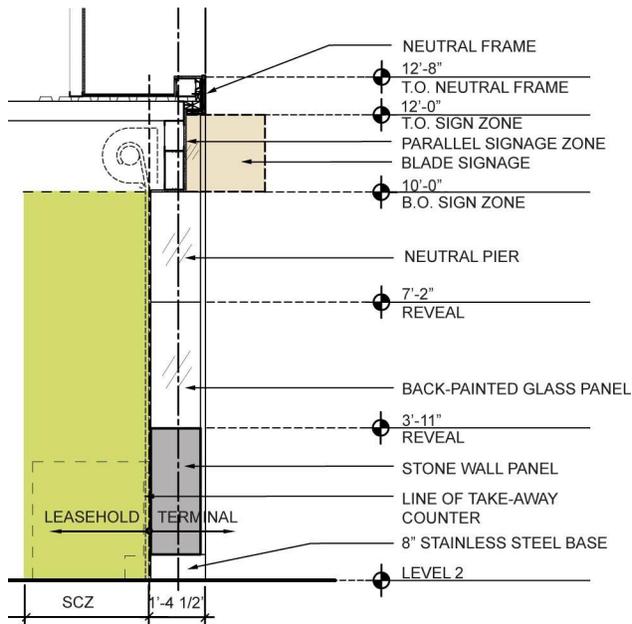


Figure E1.4 Section

* Reference Section 3.5.2 for Take-Away Counter requirements.

Design Condition E2 – Corner Storefront – Restaurant

This design condition occurs along the north side of the concourse and is located within the common food court area. The E2 design condition is to be a full-service restaurant with a “patio” area extending into the food court dining area on one storefront and into the concourse circulation path at the adjacent storefront. The Tenant is required to provide a SCDOA approved railing around the “patio” area. Furniture layout and specifications for the “patio” shall be submitted with the Tenant’s preliminary design package.

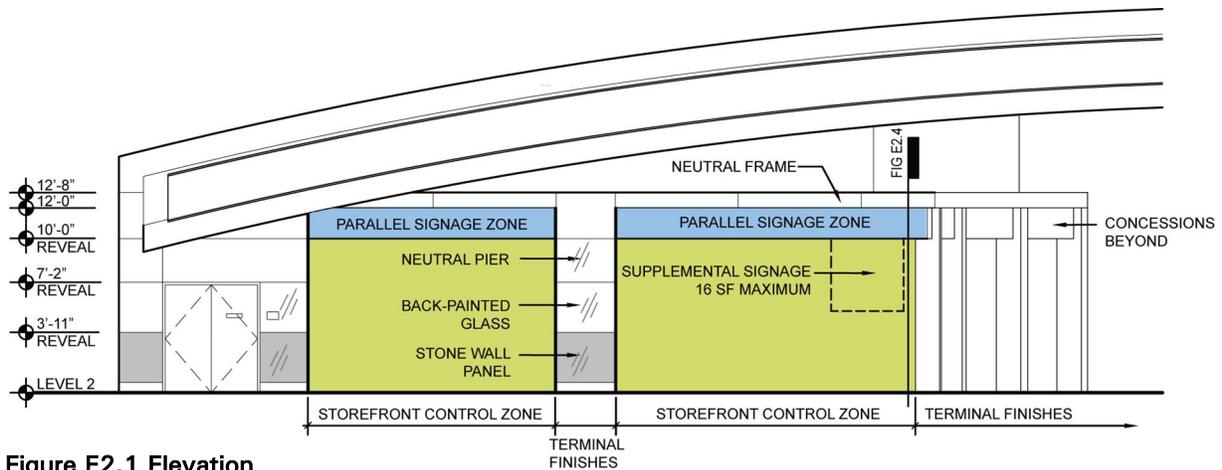


Figure E2.1 Elevation

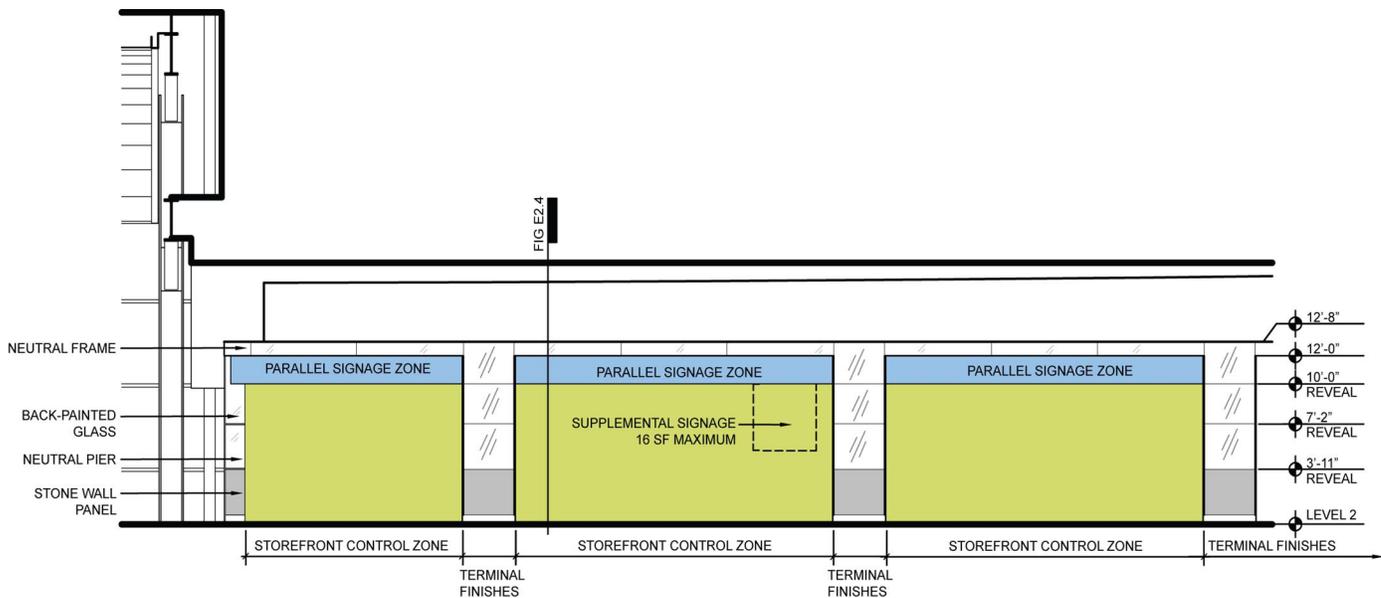


Figure E2.2 Elevation

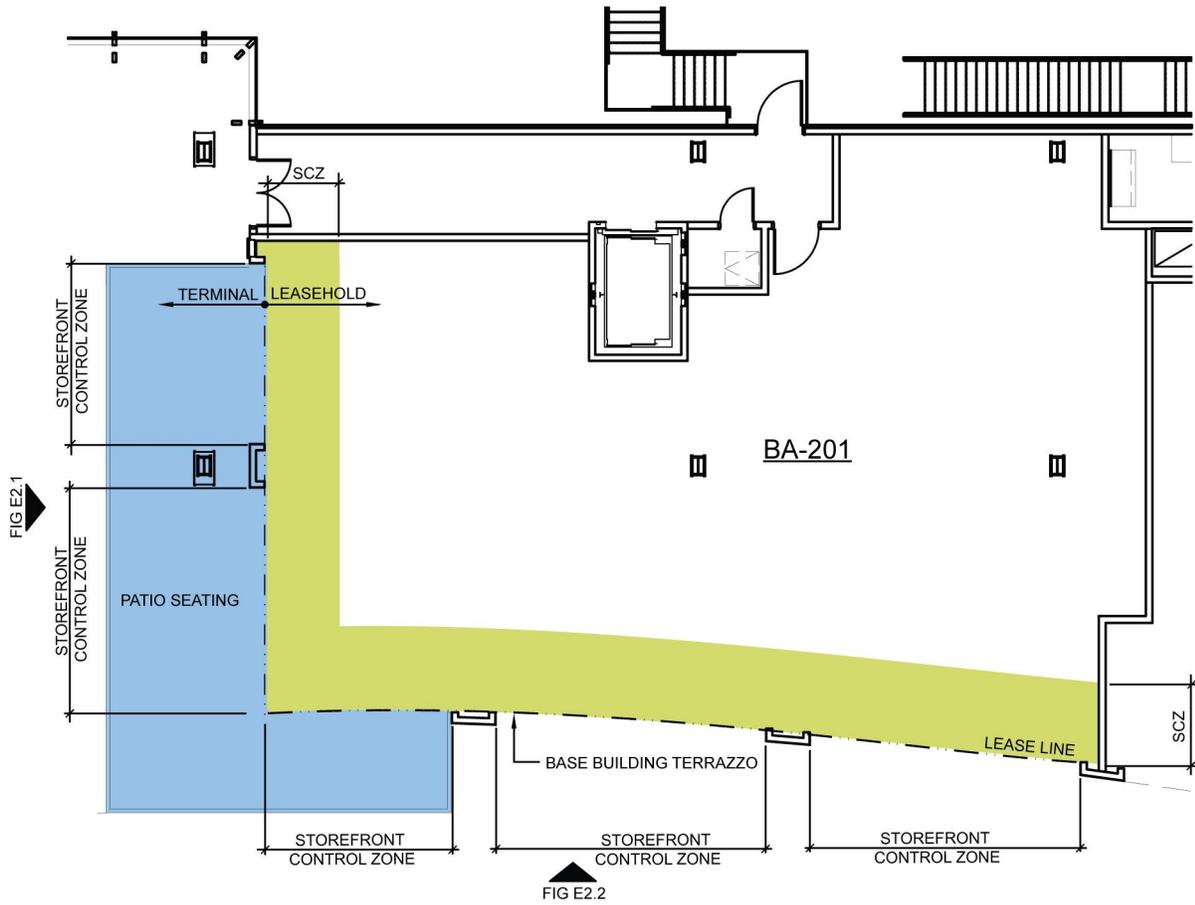


Figure E2.3 Floor Plan

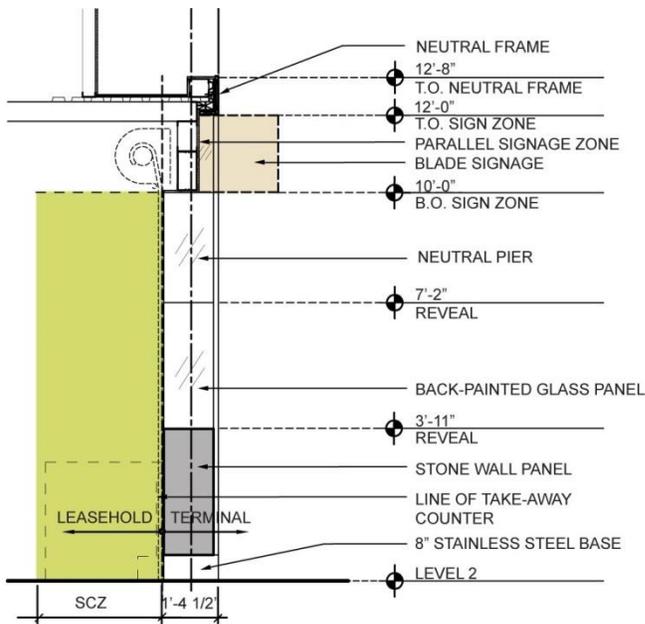


Figure E2.4 Section

3.3.3 Design Condition F – Kiosk

The kiosk design condition is an individual, freestanding, self-contained concession unit positioned along the circulation path between the airline gate lounges. The unit may consist of a counter, open, canopy/signage and tower zone. Restrictions for point of sale, display and queuing may apply depending on kiosk size and design.



Figure F

Design Condition F1 – Kiosk

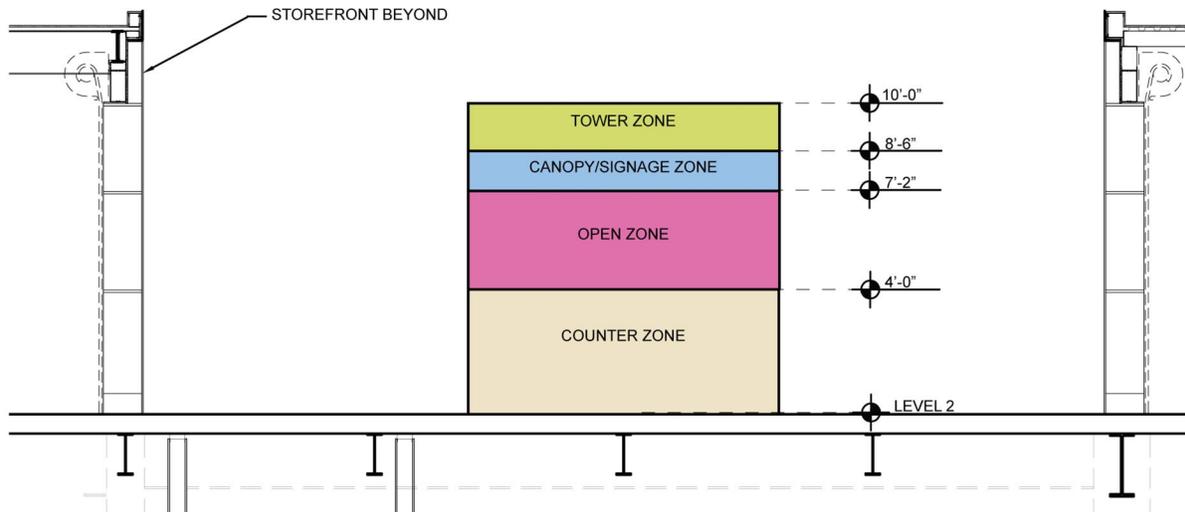


Figure F1.1 Elevation

*NOTE: An accessible transaction counter must be incorporated into the Kiosk design.

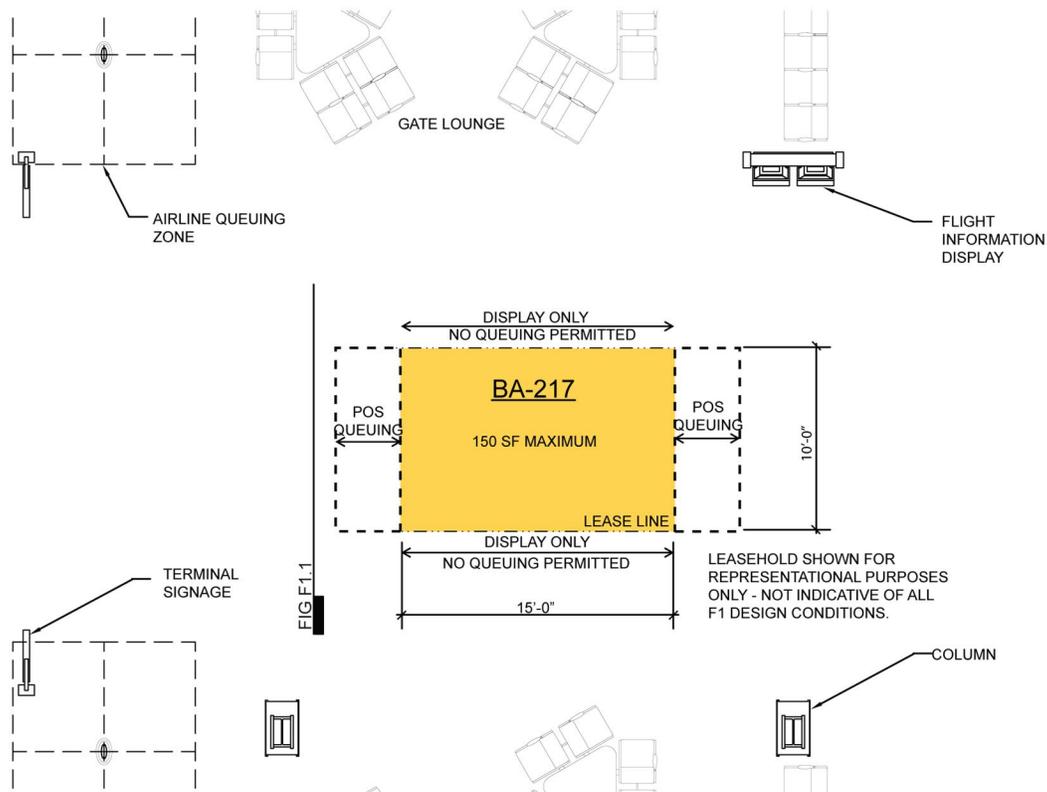


Figure F1.2 Floor Plan – Variation 1

*NOTE: On a case by case, this dimension (area) may be extended per direction from the APL.

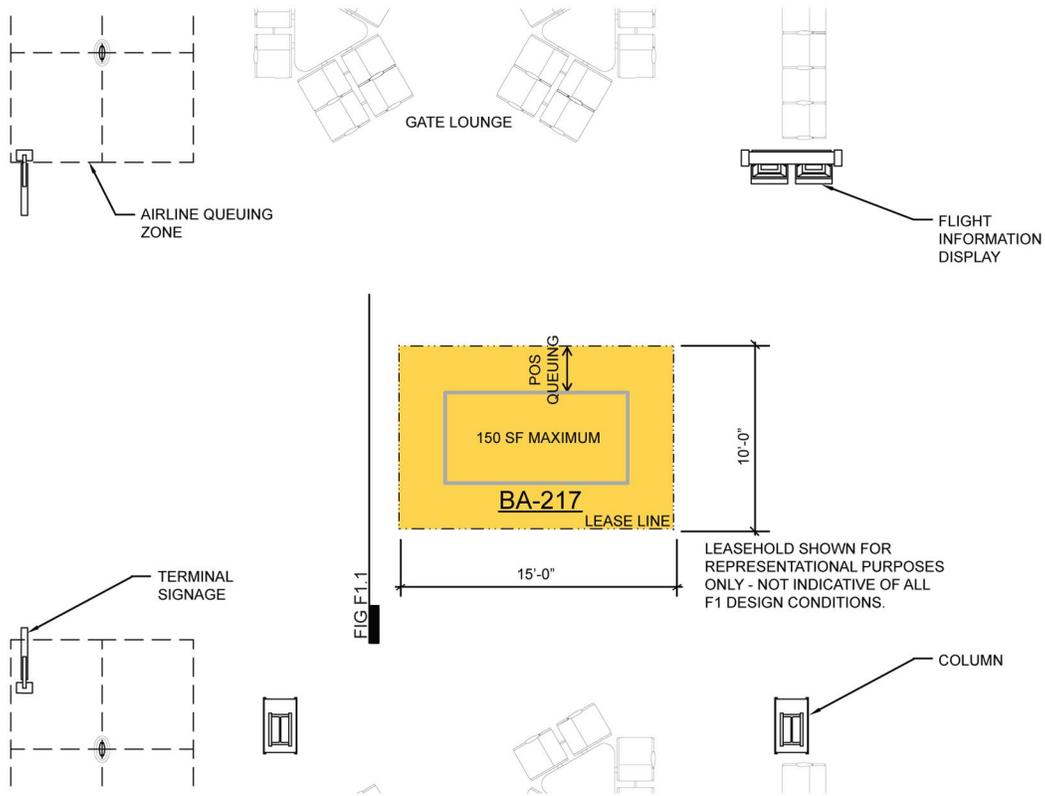


Figure F1.3 Floor Plan – Variation 2

*NOTE: On a case by case, this dimension (area) may be extended per direction from the APL.

3.4 Design Requirements

3.4.1 Storefront Design

Each Tenant leasehold shall feature its own unique storefront design. It is the intent of this Tenant Design Manual to assist the storefront designer in utilizing highly creative and imaginative designs and materials which enhance the Tenant's identity.

The storefronts shall be of high quality consistent with the design of Central Terminal B and Airside B. The following design conditions and criteria are offered as the absolute minimum standards of design and materials to be used by the Tenants in the creation of their unique airport identity. Should the APC and SCDOA design review team feel the preliminary designs lack imaginative solutions, the design will be rejected and shall be redesigned at the Tenant's expense. At SCDOA's option, alternate design suggestions may be offered for the Tenant's consideration to improve the storefront design. SCDOA reserves the right to be the sole judge as to whether a design is acceptable or not.

3.4.2 Neutral Frame

The neutral frame includes the piers on either side of the leasehold and the bulkhead above the Tenant storefront. Standard terminal finishes are provided by SCDOA at three sides of the neutral pier to serve as a demarcation between Tenant leaseholds. The corners of the piers are wrapped with a 1-1/2" stainless steel corner guard. The Tenant shall provide a 3/4" black reveal as a separation between Tenant and terminal finishes, unless the finishes are divided by an overhead grille guide. *Reference Figure 3.4B. Reference Figures 3.4A, 3.4C and 3.4D for other reveal conditions.*

It is required that horizontal elements along the storefront align with the adjacent neutral pier reveals or at mid-points between reveals. *Reference elevations within 3.2 Central Terminal B Design Conditions and 3.3 Airside B Design Conditions for reveal dimensions.*

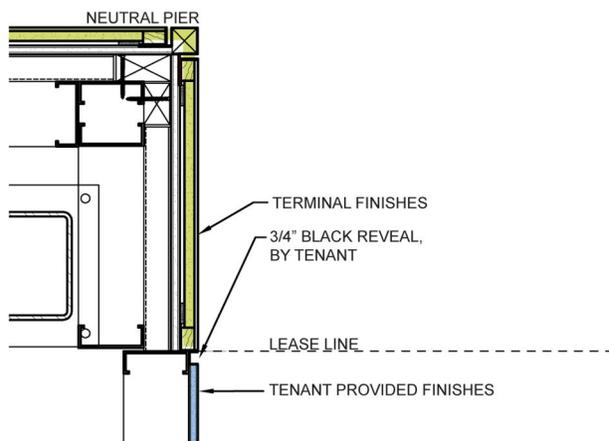


Figure 3.4A Neutral Pier at Aligned Partition

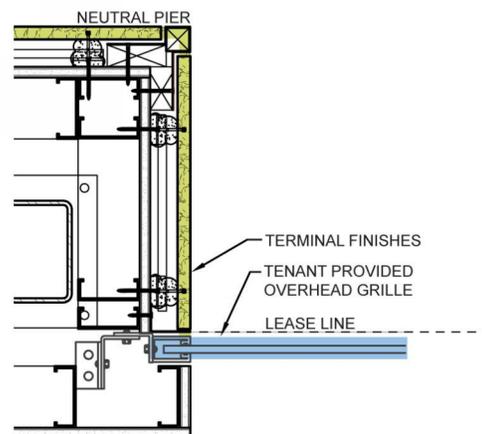


Figure 3.4B Neutral Pier at Overhead Grille

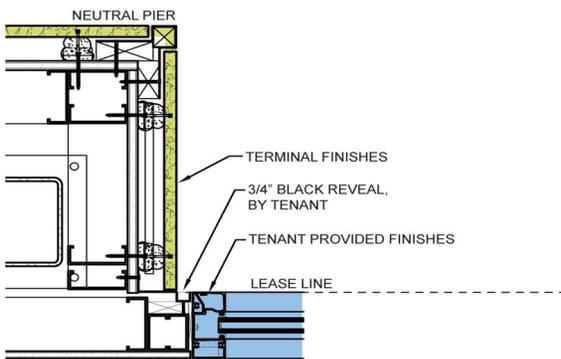


Figure 3.4C Neutral Pier at Mullion

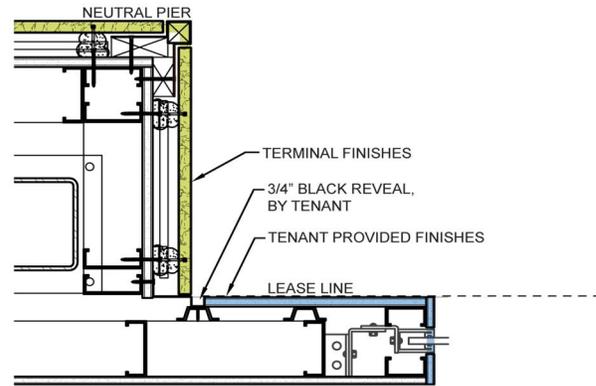


Figure 3.4D Neutral Pier at Perpendicular Partition

3.4.3 Storefront Control Zone

The Storefront Control Zone (SCZ) is identified as a creative zone from the lease line that extends to a depth of 4'-6" inside the leasehold. This zone is to encourage visually attractive display of merchandise that compliments the store interior. Exception: At Design Conditions B1, B2 and D2, the SCZ shall include the distance of the SCDOA provided glazing at the corner condition.

Items to be considered in design:

1. Wall merchandising systems other than slat wall.
2. Cash wrap cannot be located within this zone.
3. Ceiling height in this zone should not be lower than parallel signage band.
4. Acoustical ceiling tile is not permitted in this area.
5. Track lighting within this area shall be concealed within a light pocket so as not to be visible from the common area.

3.4.4 Storefront Materials

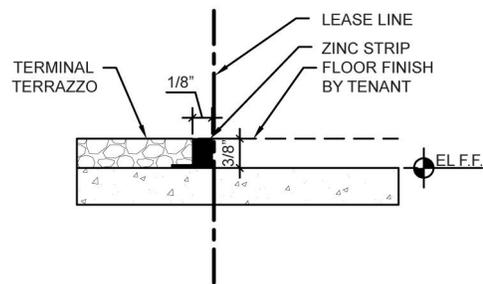
1. All storefront materials shall be durable materials such as sealed unglazed tiles, cultured stones, marble, terrazzo, natural stone, travertine, hardwoods and durable rich veneers (such as walnut, bird's eye maple, cherry, birch, etc.) and glass or as approved by SCDOA. Designers should consider combinations of the below materials.
2. Approved storefront metals include: chrome, stainless steel, bronze, copper, anodized aluminum, colored baked enamel, painted aluminum or bright metals. All metals subject to oxidation shall be clear coated to prevent discoloration.
3. Plaster, simulated stone, simulated brick, plastics, shakes, shingles, carpets, rough stucco, painted drywall, softwoods, vinyl fabrics, mirrors and other similar materials will not be permitted.
4. Any reflective metallic or mirrored finish materials other than plate glass or tempered glass must be solidly backed and factory laminated onto 3/4" particle board or plywood. Finished product when incorporated into the storefront must be free of waves and oil canning and must effect an even, consistent reflection. Wavy or warped image reflections will not be acceptable. Mirror glass is prohibited.
5. Storefront colors shall be subject to review and approval by the APC and SCDOA design review team. Colors not consistent with terminal schemes will be considered if consistent with a national retail identity on a case by case basis.
6. Desirable treatments for storefronts are butt-joint glazing or multi-pane clear, beveled, etched or sandblasted glass in metal or hardwood framing.
7. All outside corners within the tenant space, including millwork, shall be protected with low profile metal corner guards. The preferred vendor is Schluter Systems, however, corner protection products by other manufacturers will be considered on a case by case basis.

3.4.5 Openness

1. A minimum of 60% and maximum of 80% of the storefront is to be transparent, including glazing and openings. A maximum of 60% of the storefront width may be open without glazing. Recesses, angles and other devices designed to break up the length of the flat storefront are acceptable. All interior storefront glass is to be clear. Deviation from this condition will be considered and will require written approval from the APC.
2. Fully open storefronts are only allowed at leaseholds BA-208 through BA-211. A continuous counter is required from neutral pier to neutral pier. *Reference 3.5.2 Take-Away Counters.* Deviation from this condition will require written approval from the APC.
3. Storefront elevations shall be built to the underside of the neutral frame and shall close with a 3/4" black aluminum reveal, provided by the Tenant. This architectural reveal joint is required to visually separate the Tenant storefront from the neutral frame. The Tenant's Architect must include a section detail of sufficient scale where this interface occurs. Should this item not be adequately addressed, SCDOA, in accordance with the lease, may require field changes to incorporate the black reveal to affect the required functional and aesthetic treatment.

3.4.6 Flooring Transition

1. The floor terrazzo finish provided in the building by SCDOA extends to the Tenant's lease line. Exception: At leaseholds BA-208 through BA-211, the terrazzo extends into the leasehold an additional 5" to allow the face of the Tenant's take-away counter to abut with the SCDOA-provided zinc strip. The Tenant may choose a flooring material within the leasehold that will match the level of the adjacent finished floor at the lease line. Should the Tenant choose to install a flooring material that is of a different height than the adjacent finish, the Tenant is responsible for providing a code compliant transition. *Reference Figure 3.4E.* Depressed floor slabs will not be permitted. All slab modifications must be approved by SCDOA and installed by a qualified Contractor.



NOTE: TENANT MUST MEET ALL ACCESSIBILITY
SLOPE AND FLOOR TRANSITION REQUIREMENTS

Figure 3.4E

2. An 8" high base of durable material must be provided on all storefronts and display windows and must be coordinated with the storefront design.

3.4.7 Store Entrances

1. Roll-up grilles, side sliding gates, swinging or sliding doors and sliding glass wall systems are allowed at Airside B leaseholds.
2. Grilles and gates are not allowed at Central Terminal B. Leaseholds at Central Terminal B shall have solid closures such as swinging doors or glass wall systems. Any deviation from this requirement will require SCDOA written approval.
3. Grilles and gates shall be installed free of obstructions and shall be tested by the Tenant's contactor in the presence of the APC. Wall mounted key switches may not be attached to terminal finishes. Tracks and guides must be recessed. The roll-up grille must have a closure piece at the base to

conceal the slot when it is in the open position. Side sliding gates or glass wall systems shall have a pocket constructed in which the gate or system shall be housed while the store is open. The gate or system shall not be visible within the pocket. The overhead track shall be recessed into the overhead Tenant soffit. NOTE: Reference applicable codes for compliance with egress requirements.

4. Out-swinging hinged doors shall be fully recessed in the leasehold.
5. A Master Key system is required for emergency access to all spaces within the terminals. The Tenant shall provide an approved SCDOA lockset which is compatible with a common core provided by SCDOA at the Tenant's expense. Keys are the responsibility of the Tenant. A master key will be placed in a Fire Department Knox Box in the fire command room.

3.4.8 Ceilings

1. The ceilings within the Tenant leaseholds should be handled creatively. It is desired to have the designers explore the possibilities available such as combinations of both hard and soft surfaces (i.e. sheetrock and acoustical) or combinations of hard surfaces and voids. SCDOA recognizes that ceilings are one of the critical design elements of the Tenant's interior and therefore desires the Tenant to explore the available options in designing this element. Single plane, single material ceiling systems are discouraged.
2. Generally, the following ceiling materials shall act as minimum design standards for use in the concession leaseholds. Ceilings should be:
 - a. Concealed spline acoustical tile combined with gypsum board.
 - b. Regular acoustical ceiling tile not to exceed 24"x24" in size with a 3/8" revealed edge combined with gypsum board (aka: Tegular Ceiling Tiles).
 - c. Smooth face or textured drywall or plaster construction, painted, in various planes and at different heights.
 - d. Other ceiling material finishes showing unique or creative imagination on behalf of the designer will be considered on a case by case basis and may be used subject to approval by the APC.
 - e. Acoustical suspended ceilings with standard 24"x48" modules will not be permitted, except in storage and non-public areas.
 - f. Any areas of the structural deck that are left exposed shall be painted black. Areas of decking or structure sprayed with fire proofing material shall not be exposed.
3. Access panels above the ceilings required to serve Tenant's sign equipment and access HVAC units and electrical boxes shall be installed at Tenant's expense and painted to match adjacent ceiling surfaces.
4. All ceilings shall be installed in conformance with CBC and shall include seismic braces and compression struts.
5. Where required by CBC, ceiling construction shall meet one hour construction standards.

3.5 Food and Beverage Tenants

3.5.1 Design Guidelines

1. If the food preparation area is an integral part of the visible service area, it must meet all storefront criteria for finishes and lighting. If the food preparation area is not intended to be part of the visible service area, a separation wall is required, and all doors must have automatic closers. Any food pass-through openings are to be of minimal size and designed to obscure the preparation area to the greatest extent possible. All openings are subject to SCDOA approval.
2. Any clutter or unsightly equipment such as boxes, shelves, sinks, etc., shall be fully concealed from public view.
3. Particular attention shall be given to the visual organization of the rear and side walls of the preparation and serving area. Equipment layout and catalog cut sheets shall be submitted for approval.
4. Floors in kitchens, food preparation areas and storage areas must be installed over a membrane waterproofing system that will result in a fully waterproofed surface, including a 6" high cove base backed with the membrane waterproofing. It is the Tenant's responsibility to ensure that the finished floor level match the height of adjacent floors or provide a code compliant threshold.
5. Tenants are required to use nonporous, cleanable materials such as ceramic tile, stainless steel, stone (such as sealed granite) and solid plastics (Corian or equal).
6. Ceilings above the serving areas must comply with current health department and other regulatory requirements.

3.5.2 Take-Away Counters

All Tenant counters at BA-208 through BA-211 conditions shall be designed with the following requirements:

1. All counters and back walls visible to the public shall be restricted to durable, non-porous, easily cleanable materials. Counter front and countertop materials are limited to the following:
 - a. Stone
 - b. Metal
 - c. Solid Surface Materials
 - d. Glass
 - e. Ceramic tile, if used, in at least two different sizes and two colors. 4" square ceramic tile cannot be used as the primary tile, but may be used only as an accent tile.
2. Simulated natural products and metal laminates and plastic laminates are not acceptable materials for countertop and counter fronts.
3. All counter fronts are to have an 8" high toe-kick.
4. Tenants shall be responsible for controlling individual queues within or immediately adjacent to their leasehold so that customer queues do not interfere with general circulation and/or interfere with public circulation through public areas. The design should require customer queuing parallel to the storefront and NOT perpendicular into public circulation.
5. Trash and recycling receptacles for customer use will be provided in the terminal dining areas. If Tenant provides receptacles at the counter, the opening must be recessed into the countertop.
6. Condiments must be set back a minimum of 6" from the front of the counter and must be dispensed from permanent holders.
7. Cup holders, utensils and straws must be stored behind or under the Tenant's counter. Condiments and napkins placed for customer use must be in a permanent holder and integrated into the counter or in a holder display approved by SCDOA.
8. Tenants' take-away counter toe-kick shall abut with the SCDOA-provided zinc strip. All finishes on the Tenant's side of the terminal's neutral pier finishes shall coordinate with the Tenant's counter finishes and be separated by a 3/4" black aluminum reveal. *Reference Figure 3.5A.*
9. It is encouraged that counter heights vary to break up the length of flat face along the front. Tenant must comply with all accessibility requirements including transaction heights and clearances.

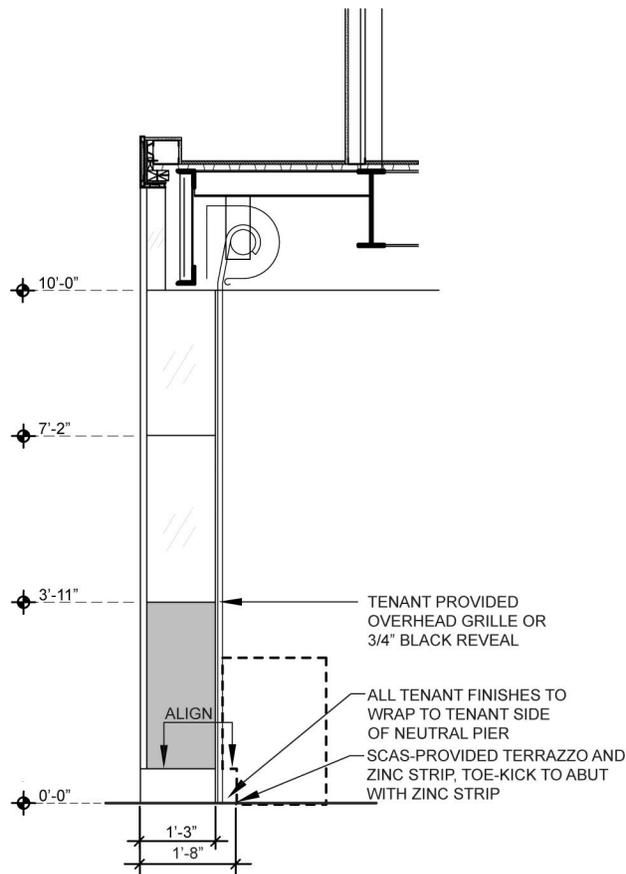


Figure 3.5A Section at Take-Away Counter and Neutral Pier

3.5.3 Display

The following are specific requirements for display of food and beverages:

1. The use of built-in glass display cases are allowed at the front counter. The case shall be a maximum of 4'-6" high above finish floor and must be constructed of a clear glass front with stainless steel trim and must sit on a standard 8" base. Display cases shall not abut with the neutral pier. Pre-fabricated display cases on countertops are not allowed.
2. All display cases must be lighted and vented. Light sources must not be visible. The sides and back of the case may be mirrored.
3. Rotating displays are permitted inside fixed display millwork.
4. At back counter, storage units or pre-fabricated display cases may be installed at the Tenant's option. Any such unit shall adhere to the counter or display case specifications mentioned for materials above, except that storage counter doors must be polished stainless steel.
5. Sneeze guards must be set back a minimum of 6" from the counter edge and be a maximum height of 4'-6" above the finished floor. All horizontal joints are to be butt glazed for maximum visibility. Glazing must be of tempered glass or safety glass. No acrylic glazing is permitted.
6. Beverage stations must be incorporated behind Tenant's counter or screened from view at the front counter. No self serve beverage stations will be permitted.

3.5.4 Equipment

Tenant equipment on counters is to be set back a minimum of 6" from the front counter edge and recessed into the countertop so that no portion exceeds 4'-6" high above finished floor. No used equipment, simulated wood finishes, trademark or supplier logos will be permitted on equipment within public view. Screening of equipment cords and unfinished equipment backs will be required if visible to the public side.

Tenant is to provide an appropriate number of trash receptacles within the leasehold as required to maintain a clean and neat environment. Free standing trash bins within the leasehold shall not be allowed in public view. All integrated trash bins shall have openings sized to conceal trash within.

3.5.5 Storage

The Tenant's supplies must be stored on appropriate racks or in cabinets within the Tenant's leasehold. All paper goods used in product service (except napkins) and supplies are to be stored in areas not visible to the public. Such storage must be concealed from public view with doors or sliding panels if located in the counter area. The Tenant is required to provide for interim cooking oil storage within leasehold. In addition to storage within the leasehold, the Tenant has an option to lease storage space from SCDOA within the terminal, if available.

3.6 Kiosk

A kiosk is an individual, free-standing, self-contained concession unit that provides preparation, display, transaction and storage space.

Kiosks should emulate the same goals as in-line and corner Tenant leaseholds, while presenting a unique and compelling brand image. The unit should present a permanent appearance displaying the products and services in a clear and sophisticated way such that customer interaction is intuitive. Since the units are free-standing, exposed to view on all four sides, care should be taken to accommodate the kiosk operational needs while presenting an attractive public face. All outside corners within the tenant space, including millwork, shall be protected with low profile metal corner guards. The preferred vendor is Schluter Systems, however, corner protection products by other manufacturers will be considered on a case by case basis.

Tenants must carefully plan their operation with respect to display and storage of merchandise, customer queuing, point of sale and trash handling. Adequate, enclosed storage for back-stock, supplies and trash must be provided either within the kiosk or in a remote location. These materials may not be left on the floor either inside or outside the kiosk. A clean, professional appearance must be maintained at all times. Security closure, if desired, should appear either decorative or hidden during hours of operation. When the kiosk is closed, the security closure should appear as an integrated and attractive part of the design composition.

All kiosks are to consist of durable, high quality materials that relate to a common design theme.

Acceptable materials include:

- a. Granite and other kinds of natural stone
- b. Stainless steel and other kinds of metal
- c. Solid surfacing plastics
- d. Integral color plastic laminates
- e. Glass
- f. Wood (minimum of two contrasting types)

3.6.1 Customer Queuing and Point of Sale

Kiosk Tenants shall be responsible for controlling individual queues within or immediately adjacent to their leasehold so that customer queues do not interfere with public circulation. *Reference 3.2.2 Design Condition C and 3.3.3 Design Condition F* for point of sale and queuing locations.

3.6.2 Counter Zone

The design of the counter is critical in expressing the theme of the kiosk. Counter heights and clearances must comply with applicable accessibility standards. Counters and display units shall not be placed beyond the allowed square footage of the Tenant's leasehold. *Reference 3.2.2 Design Conditions C and 3.3.3 Design Condition F* for lease lines.

3.6.3 Open Zone

To maintain visibility along the circulation path, SCDOA encourages kiosk Tenants to provide a minimum of 60% vertical and horizontal openness (glazed or openings) within the Open Zone. *Reference 3.2.2 Design Condition C and 3.3.3 Design Condition F* for zone location and dimensions. Transparent merchandising units within this zone are acceptable with SCDOA approval.

3.6.4 Canopy/Signage Zone

If the Tenant chooses to implement a canopy or overhead signage element, the design must be integrated with that of the kiosk. The overhead element is to be a lightweight, open structure that defines the kiosk and provides for integrated signage. Vinyl awnings or internally illuminated boxes around the perimeter are not permitted without SCDOA approval. Canopies constructed of wood, metal and glass that support 3-dimensional signage and low-voltage lighting are encouraged. *Reference 3.2.2 Design Condition C and 3.3.3 Design Condition F* for zone dimensions.

3.6.5 Tower Zone

A tower element may be incorporated in the Tenant's kiosk design. The tower element shall utilize no more than 4 square feet of floor area and may extend to a maximum height as allowed in the Design Condition's Tower Zone. *Reference 3.2.2 Design Condition C and 3.3.3 Design Condition F* for zone location and dimensions. Signage may be applied to the tower within the Signage Zone and must comply with *3.7 Signage Conditions*.

3.6.6 Shoeshine Stands

Similar to kiosks, shoeshine stands should present a simple, elegant, sophisticated appearance. If possible, they should, match materials and finishes used in surrounding areas. The stand shall be designed so that it is movable and does not interrupt sight lines to other Tenant and terminal signage. Shoeshine stands are subject to heavy abuse from passenger luggage, carts and floor buffers, so careful material selection and detailing to maintain an attractive appearance is important.

Operational issues regarding lockable storage of supplies and tools must also be accommodated in the design. While polish, brushes and polish cloths must be available for ready use, the stand design shall provide convenient storage such that a clean, neat and professional appearance can be easily maintained. Consideration must also be given to incorporation of a cash register, if required, that can be stored in a lockable cabinet. The stand must accommodate a post which would display a sign for pricing and hours of operation, or a filler backboard containing this information. Customer seating should be stationary. Stand chairs can be metal or neutral wood. Color of upholstered seats should match other stand trims. Chairs shall be low backed, include armrests and be located on a raised platform with non-slip access steps. Chrome polishing footrests may be fixed or adjustable and located at a height to prevent excessive stooping by the shiner. Other stand features shall include a hook, post or other apparatus for customer jackets; shelf for customer packages or baggage and cup-holders to sides of arms on chairs, or if post is used in middle of stand, attached to post. Any floor mats used in front of stand must be black rubber or match in color with other stand finishes.

3.7 Signage Conditions

Signage is an integral part of the overall design of the terminal and plays a key role in the retail environment. These criteria have been written for the purpose of establishing minimum standards to be utilized in creating a dynamic signage environment. The Tenant agrees to design, construct and install signage at the leasehold at the Tenant's expense in accordance with these Signage Conditions, prior to opening for business in the leasehold. A consistent signage program is for the mutual benefit of all Tenants. Conformance will be strictly enforced, and any installed unapproved signs must be removed and brought into conformance at the sole expense of the Tenant. The APC shall administer and interpret these Sign Conditions.

While SCDOA must retain strict control over the design and installation of Tenants' signage, more imaginative and creative designs that lend themselves to the unique features of the terminal concourse are encouraged. Any signage and/or graphic that may vary from the sign criteria as defined below may be approved at the APC's discretion if the design will enhance the Tenant's storefront, not conflict with adjacent signage or augment the overall theme of the terminal. The graphic identification should be symbolic of the business therein rather than the standard "letter copy." The designer should consider using original art in the place of standard advertising graphics.

3.7.1 General Requirements

1. Detailed drawings shall be included in the final submittal for SCDOA review. Conceptual drawings shall be reviewed at the preliminary design submittal.
2. Tenant shall submit 5 copies of detailed drawings indicating the location, size, layout, design and color of the proposed signs including all lettering and/or graphics. A compact disc (CD) with a .pdf file shall also be submitted.
3. All illuminated signs shall have Underwriter's Laboratory (UL) Labels for Construction Standards and shall be installed in compliance with all applicable code requirements. No manufacturers or approval agencies labels are to be exposed to public view.
4. Tenant shall not affix upon any glass or other material on the storefront any signs unless Tenant has received the written approval of the APC.
5. There will be no Tenant signage allowed upon the exterior of the building. No signs shall be permitted on canopy roofs or building roofs.
6. In the event of any conflict of opinion between the Tenant and the APC, as to the application of these Signage Conditions, the APC shall make a final ruling which shall be binding upon the Tenant.
7. Tenant shall be responsible for the fulfillment of all requirements of these criteria.
8. Electrical service to all signs shall be on Tenant's monitor.
9. Signs must not display on any portion of the storefront, the name, stamps or decals of the sign manufacturer or installer.
10. Signage light levels must be in accordance with *Section 3.9.8*.
11. Exceptions: Signs required by law will be permitted but only as approved by the APC.
12. Internally illuminated signage is preferred, although signs may be backlit.

3.7.2 Sign Types

The following sign types are appropriate and their use is permitted with SCDOA approval.

1. Illuminated or non-illuminated dimensional wood, metal, plastic, glass or other material with a permanent appearance.
2. Etched, beveled, sandblasted or stained glass.
3. Internally illuminated channel letters with opaque metal sides and plastic face. Internally illuminated letters must be no less than 1" or more than 4" in depth.
4. Except as provided herein, no advertising placards, banners, pennants, names, insignias, trademarks or descriptive material shall be affixed or maintained upon the glass panes and supports of the storefront show windows and doors, or upon the exterior walls of the storefront.

The following sign types, sign components and devices shall **not** be permitted:

1. Boxed or cabinet type.
2. Exposed neon tube forming letters or logo in public areas (allowed within Tenant leaseholds and subject to SCDOA approval)
3. Formed plastic.
4. Cloth, paper, cardboard or similar stickers or decals.
5. Noise making.
6. Odor producing.
7. Veneer or plywood products.
8. Pre-molded plastic letters with reflective coatings.
9. Animated, flashing, tracing or audible signs will be **not** permitted.
10. Painted lettering.
11. "Can" type signs with illuminated translucent background and silhouette letters.
12. Sandblasted or routed wood signs.
13. Freestanding signs (i.e. pylon or pole type signs)
14. Acrylic faced letters with plastic trim caps.
15. Temporary signs of whatever composition or materials.
16. Hours of operation must be incorporated into Tenant's storefront.

3.7.3 Parallel Signage

A parallel signage zone is provided at each leasehold directly below the neutral frame. The parallel signage band is 2'-0" high and varies in length depending on the length of the storefront below. Exception: The parallel signage band at Design Condition A3 is 3'-0" high. The following are design requirements specific to the parallel signage:

1. The parallel signage band shall be clad on two sides (face and bottom) in one of the following materials: glass, metal, stone, tile and wood or other appropriate material. Painted gypsum board as a parallel signage background will not be permitted. Other materials may be permitted with approval from the APC.
2. The underside of the parallel sign band must align with the adjacent reveal at the neutral pier. *Reference Figure 3.7A and Sections 3.2 Central Terminal B Design Conditions and 3.3 Airside B Design Conditions* for reveal locations indicated on the elevations.
3. Length of parallel signage shall be at minimum 50% of the signage zone and maximum 80% of signage zone.
4. The Tenant's store name must appear within the parallel signage zone.

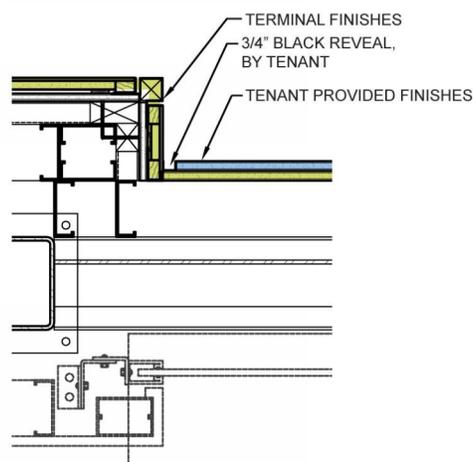


Figure 3.7A 3/4" Reveal Section at Parallel Sign Zone

3.7.4 Blade Signage

Blade signage is required at all In-Line and Corner Design Conditions and shall be installed perpendicular to the parallel signage zone. The minimum requirement for blade signage is an approximately 2'x2' sign/ which shall be attached to the parallel signage zone using a standard satin stainless steel clad support bracket and 1 1/2" diameter satin stainless steel pipe standoff(s). Tenants are encouraged to be creative with Blade Sign design, some examples of signs are illustrated in Figure 3.7D. The standoff(s) shall be positioned within the standoff zone and will carry electrical to the blade sign. *Reference Figures 3.7B and 3.7C.* For optimum visibility, the sign must be internally lit using LEDs and installed no closer than 3'-0" from the inside face of neutral pier finishes. Blade signage should be designed to enhance the Tenant's storefront while identifying the store's location along the pedestrian path. Exception: The minimum blade signage requirement at Design Condition A3 is 3'x3'x4". On a case by case basis, blade signs not in conformance with these guidelines may be allowed full-size mock-up of the sign in its proposed location.

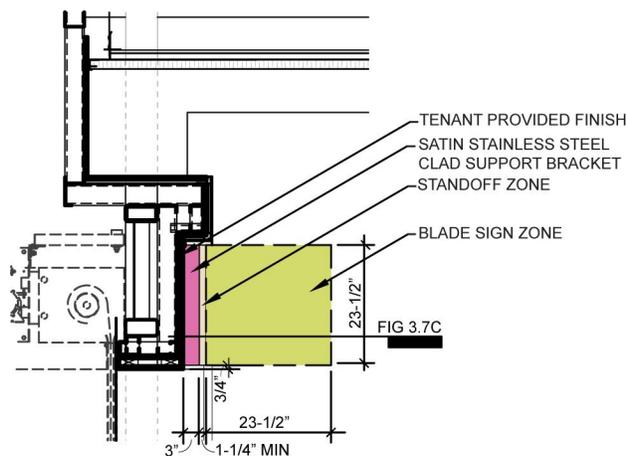


Figure 3.7B Blade Sign Elevation

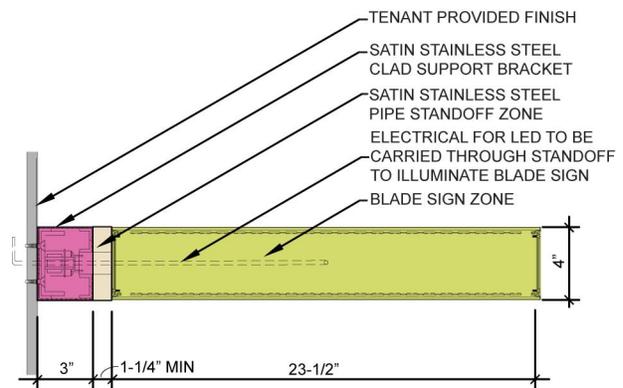


Figure 3.7C Blade Sign Section

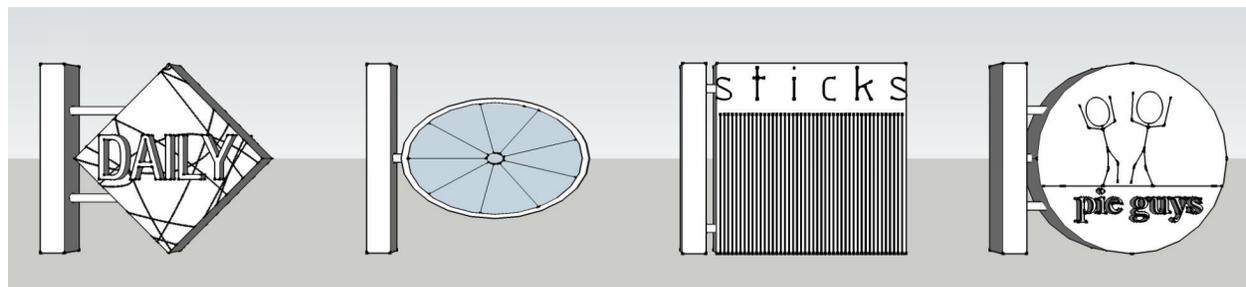


Figure 3.7D Blade Signage

3.7.5 Vertical Signage (Three Dimensional Graphic)

The vertical sign element is located above the neutral pier at Design Conditions A1 and B1. This zone is intended to enhance the quality and concept of the storefront. *Reference* elevations within *3.2 Central Terminal B Design Conditions* for vertical signage locations and size parameters. Vertical signage is **required** at indicated locations in lieu of the parallel sign. Where vertical signage is installed, the Tenant's store name should be incorporated with the 3-Dimensional graphic and is not required to appear at the parallel signage band; however, the Tenant must provide a finish as required by *Section 3.7.3*.

The Tenant is encouraged to design the 3-Dimensional signage in a fun or playful way to reflect its brand identity and serve as a “billboard” for the concession. *Refer to Sections 3.2.1, Figure A and Section 3.2.2, Figure B* for a graphical representation of the intent of this signage. Elements of the sign may include caricatures of products, national branding and aspects of the local Sacramento region or other creative components.

3.7.6 Supplemental Signage

Tenants have the option, with SCDOA approval, to integrate branded signage into the storefront design to support the overall store image and give greater visibility from the terminal. Supplemental signage will be located on the storefront and cannot exceed 16 square feet. The size will be measured by circumscribing a rectangle around the main body of the sign. No temporary or handmade signs will be allowed.

3.7.7 Design Requirements

1. All Tenant storefront entrance/store identification designs shall be subject to the approval of the APC. Imaginative designs which depart from traditional methods and placement are encouraged.
2. Wording of signs shall not include the product sold except as part of Tenant’s trade name or insignia.
3. Tenants are required to have signs designed as an integral part of the storefront design with letter size and rotation appropriately scaled and proportioned to the overall storefront design.
4. The design of all signs, including style and placement of lettering, size, color, materials and method of illumination, shall be subject to the approval of the APC.
5. Signs shall be composed of individual or script lettering. Background panels shall be designed in a manner compatible with the storefront.
6. Plastic edge retainers used at the perimeter of sign letter faces shall match in color and finish the face or the sides of the sign.

3.7.8 Menu Boards

Menu boards and other signs must convey information in an organized, simple, and straightforward manner. All graphics must be professionally produced. Temporary displays are not allowed. SCDOA reserves the right to reject any signage that is not consistent to the overall design.

1. Tenants are to provide one or more menu boards designed as an integral part of the design concept. These elements should be considered early in the design process and not as an “add-on.”
2. Menu boards must have changeable price and menu graphics. Letter height must be legible from the front counter.
3. Menu boards are not permitted within the SCZ.
4. Internally illuminated menu boards are not desirable. Preferable are externally illuminated menu boards using a supplemental light source or LCD monitors displaying the menu.
5. SCDOA must first approve the use of photographs for food displays, and then photographs must be professionally produced. The graphics design of the menu board is to match the storefront identity in type style and colors. At least two colors are to be used for the primary text, with one additional accent color, and there must be a minimum of two type styles.
6. “Daily Special” signs or signs for seasonal or temporary promotions may be integrated into the overall design of the menu board and of the back wall.
7. Food and Beverage Tenants have the option to incorporate “Order Here” and “Pick Up Here” signs.
8. The design and materials must be consistent with the overall design and colors used in the space. Sign details are to be submitted for approval as part of the entire design package.

3.7.9 Construction Requirements

1. All metal signs, bolts, fastenings and clips shall be of enameling iron with porcelain enamel finish, stainless steel, aluminum, brass, baked enamel or bronze. No black iron materials of any type will be permitted. Angle clips attached to the letter sides will not be permitted.
2. All attachment devices, wiring, clips, transformers, lamps, tubes and other mechanisms required for signs shall be concealed.
3. Tenant storefront signs only may be fabricated of carbon bearing steel with painted finish.
4. All signs shall be provided with an electrical disconnect at the signage electrical connection location in the Tenant's ceiling within 48" of the sign.
5. All letters shall be fabricated using full-welded construction.
6. No labels will be permitted on the exposed surface of signs except those required by local ordinance which shall be applied in an inconspicuous location.
7. All illuminated signs shall be on a time clock and shall operate one hour before the store opening to one hour past the store closing.
8. All signs shall be constructed of premium quality materials and craftsmanship.

3.7.10 Miscellaneous Requirements

1. The advertising or informative content of Tenant's signs shall be limited to letters designating Tenant's Trade Name only. No additional advertising will be permitted (i.e. "Discount Sales", etc., or miscellaneous brand names included in its operation.) Crests, corporate shield or logos may be permitted at the discretion of the APC. The trade name designation shall not specify the merchandise offered for sale or the services rendered and shall contain no advertising devices, slogans, symbols or marks, such as symbols of credit cards accepted, etc. No advertising placards, banners, pennants or signs, other than those specifically approved by the APC shall be affixed upon the glass panes or supports of the store window and doors. Neither will they be affixed to the exterior of the storefront or within 10' of the lease line.
2. Tenant shall install on the terminal storefront, the numbers only for the suite address in the exact location stipulated by the APC and as required by the ARFF. Tenant shall install a 2" high suite address. Style of letters shall be New Medium Helvetica, color shall be black. Letters shall be installed by means of double sided tape or adhesive material. Address shall be installed at the lower left corner of the Tenant's storefront when faced from the public circulation. Address numbers shall be shown on the elevation drawings.
3. If Tenant has a non-customer door for receiving merchandise, it may have uniformly applied on said door in location, as directed by the APC, in 2" high block letters, the Tenant's name and address. Where more than one Tenant uses the same door, each name and address shall be applied. Color of letters will be as selected by the APC.
4. Floor signs, such as metal inserts into terrazzo, shall be permitted within the Tenant's lease line, if approved by the APC.
5. Televisions or other monitors displaying moving images will not be permitted within the SCZ. Kinetic signs shall have a minimum twenty second interval between changes. Variances may be approved on a case by case basis by the APC.

3.8 Storage

Concession storage space is available for lease at Central Terminal B and Airside B. *Reference Building Conditions 3.1 for locations.* The storage area shall be delivered to the Tenant as shell construction only. The Tenant will be responsible to provide any required enclosures such as demising partitions or chain link fencing at the APC's discretion, if only a portion of the available space is leased. In addition, all finish materials, utilities and lighting fixtures shall be provided by the Tenant. Locations of refrigeration units and coolers shall be coordinated with the APC. All Tenant storage areas must comply with applicable codes as described in *Section 1.6.*

3.9 Description of Work

3.9.1 General

"SCDOASCDOA work" shall include and be limited to the purchase and/or installation of all materials and labor of the base building construction. "Tenant work" shall include the purchase and/or installation of all materials and labor of the improvements described in this section and any other improvements not described in "SCDOASCDOA work" which are necessary to construct the leasehold.

3.9.2 Structure

The buildings in which the concessions are located have been provided with complete, automatic sprinkler protection except for omissions allowed by the CBC, NFPA 13, and specifically agreed upon with ARFF. As allowed by the 2007 CBC, both the Central Terminal B and Airside B are not fire-rated structures, with the exception of Central Terminal B north of the three-hour rated wall. *Reference Section 3.1* for the 3-hour wall location. Exterior walls consist of glazing and light gauge metal wall studs. All materials used in the construction of these facilities are noncombustible and meet flame spread requirements required by the CBC.

1. The floor area shall be measured without deduction for the width of/or space occupied by columns, sprinkler risers, roof drains, structural braces, other structural elements, expansion joints, shear walls or mechanical units that exclusively serve and are located within the premises. Tenant acknowledges that it may be necessary for SCDOA to utilize a portion of the leasehold to accommodate shafts, ducts and pipes to serve other Tenant leaseholds above or below. SCDOA reserves the right to utilize such area within the leasehold for said purposes, as SCDOA shall specify, provided such area is located adjacent to an interior wall other than the storefront and does not exceed 1% of the floor area. Floor area measurements shall include projected storefront area.
2. Central Terminal B leasehold
 - a. The level one and level three floor steel framing is designed to support 3.0 psf flooring dead load and a 100 psf live load.
 - b. The structural steel truss frames over storefronts are designed to support following loads:
 - i. 36 plf for overhead coiling grille assembly (barrel assembly, curtain and bottom bar).
 - ii. 16 plf for signage on 2'-0" parallel signage zone above entry.
 - iii. 300 lb concentrated load for signage at any location along length of truss.
 - c. The floor steel framing above concession areas is designed to support an additional 3.0 psf ceiling dead load.
3. Airside B leasehold
 - a. The level two floor steel framing is designed to support an additional 10.0 psf partition plus flooring dead load and a 100 psf live load.
 - b. The structural steel frame system is designed to support an additional 7.0 psf mechanical plus ceiling dead load and a 20 psf live load.
 - c. The roof is designed to support an additional 4.0 psf ceiling dead load and a 20 psf live load.
4. Any alterations, additions or reinforcements to the terminal structure in order to accommodate Tenant's work shall be performed only with the APC's approval. All storefront systems shall either be self-supporting from the flooring system or fastened to the structural steel floor or roof system above. Connections shall only be allowed to the structural steel. No connection shall be allowed to the metal decking. VAV boxes shall be located at reinforced frame locations only.

- There shall be no penetrations of the roof, installation of radio or television antennas or any rooftop equipment without approval by the APC. All roof penetrations and equipment locations required by Tenant and approved by the APC shall be at Tenant's expense and subject to the conditions of said approval. The APC shall require that all such work shall be engineered and installed at Tenant's cost. For roof penetration, SCDOA may require the use of the original roof contractor to maintain warranty. Screening devices shall be required and approved at the APC's discretion, and all costs are incurred by the Tenant.

3.9.3 Partitions

- The Tenant shall construct all interior framed partitions and curtain walls within the Tenant's leasehold. All construction shall be noncombustible metal framing to the requirements of the building type within the CBC.
- SCDOA has provided 6" metal studs at 16" on center at the demising partitions between the leaseholds. Gypsum board shall be applied by Tenant. Where such partitions fall on structural column lines, at structural shear walls, K-braces or expansion joints that are part of the base building's structural components may extend into the Tenant's leasehold.
- At some Airside B locations, SCDOA has provided a 1-hour rated service corridor. SCDOA has installed 5/8" Type X sheet rock on the corridor side of the wall. Tenant shall install 5/8" Type X fire-rated gypsum board on the Tenant's side of service corridors and electrical room partitions and must provide fire tape. In all cases, all rated walls shall extend fully from the floor to the underside of the roof deck above. Leaseholds along the service corridor shall be provided with hollow metal service doors in metal frames (excluding hardware) as required by the CBC. Tenant may relocate this door at Tenant's expense with prior written approval of the APC. The Tenant is required to repair the corridor wall, floor and ceiling when a door is relocated.
- The Tenant shall provide 1-hour exit corridors, similar to the service corridor, within the leasehold when required by the CBC.
- At locations indicated on the Central Terminal B plans, SCDOA has installed a 3-hour fire rated partition as indicated in *Figure 3.9A*. Reference *Section 3.1 Building Conditions* for the 3-hour wall location. The partition shall not for any reason be penetrated. The Tenant is required to construct a self-supporting wall to conceal outlets, hang finishes, niches, etc.

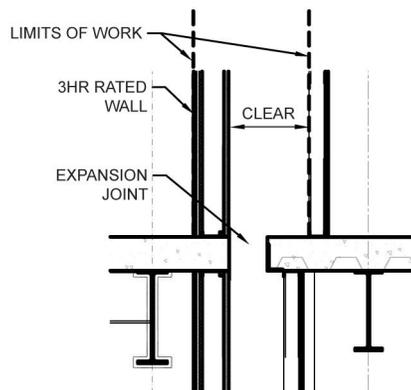


Figure 3.9A 3-hour Fire Rated Partition

3.9.4 Plumbing

- SCDOA has provided domestic hot and cold water service with ball valve connection either overhead in the Tenant's attic or beneath the concrete floor of the Tenant's leasehold. If located beneath the slab, the Tenant shall extend water service through the slab and into the leasehold, incurring all costs. Domestic hot water is supplied from the house system at 110-120 degrees max. Booster heaters for warmer temperatures (dishwashing, hand washing, etc.) are the Tenant's responsibility.
- SCDOA has provided a 4" diameter sanitary sewer line with cap connection to a location under the floor slab near the rear of the leasehold. Refer to as-built plans for stub-in locations. The Tenant shall

core the floor and make connections to extend sewer as required. The Tenant shall scan all proposed floor penetrations prior to coring/trenching slab to confirm that no base building reinforcing conduit or other utilities are affected. The Tenant shall saw-cut floor locations as approved by the APC, install all plumbing fixtures and rough-in plumbing as required for the leasehold. All vents, risers, etc., shall be installed under the Tenant's scope of work. Tenants shall provide approved receptors for condensate drains, water heater overflow and drain lines, etc., as required. All mop/utility sinks shall be of cast iron or equivalent construction due to high wear and potential leakage to spaces below.

3. Where required by code, the Tenant is to provide a backflow preventer accessible to SCDOA personnel. The location must be verified with the APC.
4. Natural gas main lines have been provided and located at an exterior distribution point for restaurants and food concession uses only. Refer to as-built plans for the location of the gas manifold at the central distribution area. Gas service requests shall be by PG&E and the Tenant. The gas line between the meter and leasehold shall be furnished and installed by the Tenant with a cock valve placed within the Tenant's leasehold. Routing shall be coordinated and approved by the APC.
5. Line gas pressure regulators must conform with all CBC, NFPA and ANSI requirements.
6. A central grease interceptor has been provided by SCDOA. The Tenant shall pipe each individual food concession having pot sinks or any grease producing appliances that discharge into the waste system and connect to the designated grease waste line. Tenant shall be responsible for the proper care, cleaning and maintenance of the grease waste piping required in accordance with all applicable laws and regulations. In no event shall the occurrence and extent of such cleaning and maintenance be (a) less than once a month, and (b) so insufficient that grease is discharged into the waste system.

3.9.5 Fire Suppression

1. SCDOA has a complete, automatic fire sprinkler protection system installed in accordance with NFPA 13, CBC and ARFF. The Tenant shall be responsible for extending or modifying the existing building automatic sprinkler system into the leasehold.
2. Retail leaseholds are required to be designed as Ordinary Hazard Group 2 classification with a minimum design density of 0.20gpm/sq ft in accordance with NFPA 13, section A, 5.3.2.
3. The sprinkler head spacing is a maximum of 130 sq ft per sprinkler.
4. Kiosks with a solid ceiling are required to have an automatic sprinkler system with a supervised control valve. Routing of the sprinkler line will be from the floor below and must be concealed from public view.

3.9.6 Heating Ventilating and Air Conditioning System

1. SCDOA has provided a central variable air volume (VAV) distribution system "generally" suitable of meeting Tenant's HVAC requirements. The terminal VAV system has been designed to be based on the following criteria:
 - a. Heating – winter inside comfort design temperature: 75°F db.
 - b. Cooling – summer inside comfort design temperature: 75°F db.
 - c. Outside design temperatures – As indicated in the current edition of the ASHRAE Handbook of Fundamentals, 2½% conditions.
 - d. Chilled water coils should be designed for a 20°F temperature differential.
 - e. The existing maximum supply air to conditioned building areas is calculated at 2.0 cfm/s.f. The Tenant is responsible for supplying supplemental HVAC if additional air conditioned air or make-up air is required because of increased heat loads in the leasehold.
2. SCDOA has installed a central building automation system (BAS) within the terminal. SCDOA has provided conduit and conductors from the leasehold to the central location of the main control panel to make all connections. The Tenant shall coordinate all requirements of the BAS with the APC during the construction document phase of the project.
3. All VAV equipment for Tenant's leasehold, not installed by SCDOA, shall be provided and installed by Tenant, at Tenant's expense. The Tenant shall provide the following components of the system:
 - a. The Tenant shall provide electrical power to the VAV box at the stub-in location of the terminal system. After installation, the Tenant shall balance the VAV box.

- b. The Tenant shall install a low velocity air distribution system within the leasehold. All ducting shall be rigid except 6'-0" flex drops at the diffuser location. Return air to be a plenum system unless otherwise noted. Tenant's system to include VAV box thermostat, supply air ducting, dampers, motors, registers and smoke detectors.
 - c. The Tenant shall provide and interconnect from VAV box to the BAS.
 - d. The Tenant shall locate SCDOA approved type thermostat and/or space temperature sensor to work with Tenant's layout. Tenant shall provide thermostat control wiring.
 - e. If the Tenant requires additional cooling or heating capacity, the Tenant shall make arrangements with the APC to obtain additional air and a larger VAV box at the Tenant's expense, if excess central air is available.
 - f. Fire dampers will not be required as a portion of the VAV system per ARFF, but final determination is subject to Building Department review and approval.
4. The Tenant will engineer the HVAC system to serve the leasehold complete with ducted supply and plenum return air. It is essential that the Tenant's engineer be completely familiarized with the central VAV system and all requirements pertaining to that system. The design of the low velocity system, including location of controls, is subject to the APC's approval prior to the installation. Such approval does not warrant performance of Tenant's distribution system, nor does it warrant the correctness of Tenant's engineering.
 5. The Tenant's mechanical design to be completed per all governing codes including California Code of Regulations, Title 24 Energy Compliance and shall include:
 - a. Details of VAV unit installation, including suspension system from the terminal's structural steel roof structure with seismic bracing, if relocated from the APC's suggested installed location.
 - b. Air distribution from the VAV terminal box per SMACNA low velocity standards and details, including supply and plenum return air distribution to all supply and return registers. Distribution system shall be furnished with all necessary air control devices to properly control supply and plenum return air. No openings for fans, outside air intakes, vents, louvers, grilles or other devices will be installed in any demising partitions, exterior walls or roof without APC's written approval. All penetrations through exterior walls and roof will require calculations by State of California licensed structural engineer. Penetrations through full height Tenant walls shall be made with return air transfer grilles.
 - c. Smoke detectors shall be provided as required by the California Mechanical Code to achieve fan shut down for fan capacities greater than 2000 CFM. The smoke detectors shall be interconnected with the base building fire alarm system.
 - d. Exhaust Fans: SCDOA has provided a common exhaust duct at select locations. The Tenant is required to tie into that duct for all their exhaust needs. Refer to as-built drawings for exact location as building conditions will not allow exhaust at all leaseholds. Additional exhaust must be coordinated with the APC at the Tenant's expense.
 6. The Tenant's HVAC electrical design shall include complete and satisfactory operable low voltage electric controls and power wiring to the VAV terminal Box and electric damper in accordance with all governing codes. Tenant shall be responsible to insure and verify the proper operation of the room thermostat controls and energy management system.
 7. HVAC for Food and Beverage, Cosmetic Salons etc.
 - a. Air balance of any exhaust and make up air system is the responsibility of the Tenant and the Tenant will furnish two (2) copies of a certified air balance report. The SCDOA specification of HVAC conditions is predicated on the correct balance, to SCDOA's satisfaction, of Tenant installed mechanical systems.
 - b. All exhaust fans must be electric motor driven, provided with back draft damper interlocked with light switch.
 - c. No exhaust or vent will be located within 20' (in any direction?) of any supply or air intake.
 - d. No openings for fans, vents, louvers, grilles or other devices will be installed in any demising partition, exterior wall or roof without the APC's written approval.
 - e. Kitchen hoods, exhaust systems and makeup air units for food preparation shall be protected by a Health Department and ARFF approved chemical extinguishing system in the exhaust hood and sprinkler heads in the duct work in accordance with the requirements of the jurisdictional

authorities, CBC and UL 300. The hood and duct extinguishing system shall be supervised by the fire alarm system.

- f. Filters used in all exhaust systems shall be provided with access panels, in each Tenant leasehold. Tenant shall contract with a qualified service company for the repetitive maintenance of the filters and provide the management with a copy of the service contract a minimum of 10 days prior to the Tenant's opening for business. Exhaust hood ducts and make-up air units shall be in a 1-hour constructed mechanical chase.
- g. Condensate or drainage lines for refrigeration and/or air conditioning must terminate in accordance with the requirements of jurisdictional authorities and SCDOA's insurance carrier. Food and Beverage Tenants shall maintain a negative air flow from the terminal common areas into the leasehold when odors or fumes are present. This negative flow shall equal 10% of the Tenant's total CFM requirements. Odors shall be defined as any scent from food processing, materials, processes, services which are detectable beyond the lease line.
- h. For remodels involving existing Tenant spaces, the Tenant's mechanical engineer shall provide a report to the APC outlining the condition of any existing HVAC equipment. The report shall include recommendations necessary to service or replace the existing mechanical equipment. No equipment in excess of 15 years of age shall be reused. All abandoned HVAC units shall be removed from the building by the Tenant.
- i. Where required, roof mounted equipment platforms may be provided at Tenant's expense for food concession exhaust fans, make up air fans, etc., with APC approval.
 - i. Central Terminal B: roof penetrations required at Tenant's expense. At BL-307 through BL-309 the Tenant must provide an exhaust system.
 - ii. Airside B: access to central exhaust system available at the central food court leasehold areas.
- j. Tenant's utilizing commercial cooking equipment must provide the appropriate number of Class K fire extinguishers as required by code within the leasehold.

3.9.7 Electrical System

1. By state, federal and county ordinances, *SCDOA has very specific restrictions on the electrical systems used within the terminal.*
2. SCDOA has provided facilities for the delivery of 480V, 3PH, 3W at central distribution points (electrical rooms). The Tenant shall verify exact locations to serve specific leasehold with the APC. The Tenant is provided with power based on average square footage requirements for retail and food concessions. An electrical monitoring device and disconnect shall be provided per leasehold at a central monitor location to be determined by SCDOA.
3. SCDOA has provided an empty conduit from the electrical room to the leasehold with a pull string. If the Tenant requires a different size of main electrical service, disconnect switch and/or additional empty conduits, the Tenant may submit a request to the APC for additional power. If available, the Tenant will be provided with additional power at Tenant's expense.
4. The central energy management system has been installed by SCDOA in the form of a Building Automation System (BAS). SCDOA has provided a wire and the conduit serving the leasehold. SCDOA shall connect the Tenant's VAV box and control system to the BAS terminating at the main control panel. The Tenant shall contact the APC regarding the requirements of the energy management system and provide all interfacing beyond the conduit provided by SCDOA. BAS conduit shall be stubbed into the leasehold above the ceiling line.
5. The Tenant shall provide all electrical feeder conductors from the leasehold to the terminal's central distribution point in the conduit provided in the base building construction. Tenant shall provide an approved PMCS Meter Device (Rockwell PM1000 Meter). Electrical usage will be metered and billed by SCDOA. The Tenant will extend the main service conduit from the stub-in location to the Tenant's panel locations. Tenant shall install any required transformers, electrical panels, subpanels, time clocks, disconnects, etc., alarm systems and all electrical distribution within the electrical room as directed by the APC. The Tenant shall provide all telephone and communications equipment within the leasehold.

6. The Tenant's electrical contractor shall comply with the latest edition of the National Electrical Code (NEC) as well as all local codes and ordinances. Tenant shall be required to furnish and install smoke detectors as required by the CBC, NFPA, UMC and the NEC.
7. Small satellite dishes, USSB dishes, antennas, etc., may be mounted on the terminal roof only with the approval of the APC. Cables shall be run as directed by the APC in terminal cable trays only from the antenna location to the leasehold. Roof penetrations must comply with *3.9.2 Structure* of this manual.

3.9.8 Lighting

1. General Requirements
 - a. The APC will be looking for lighting solutions that minimally impact the existing building architecture while creating visual interest for the Tenants.
 - b. The Tenant's designer shall review all contractor lighting submittals for compliance with the APC approved plans.
 - c. All light fixtures shall be provided with independent seismic bracing and safety wires per the CBC.
 - d. General lighting refers to interior leasehold lighting that is beyond the back edge of the SCZ.
 - e. Lighting controls with automated astronomical time-clock shut-off shall be provided by the Tenant.
 - f. All fixtures shall be UL listed.
2. Signage Lighting
 - a. All lamps or LED's within signage shall have an efficacy of +75 lumens per watt.
 - b. All signage shall not exceed 90 [cd/ft²].
 - c. All blade and parallel signage shall be internally illuminated or illuminated in silhouette.
 - d. No lamps or LED's shall be visible from the public's view of signage.
3. Lighting external to the leasehold, not associated with signage, is prohibited.
4. General Lighting
 - a. The peak candela distribution for each lamp shall not be directed external to the leasehold.
 - b. All light external to the leasehold shall be confined to a radius of 10' measured at the floor.
 - c. All light passing through display windows or the entrance shall be directed less than 90 degrees from nadir or less.
 - d. Displays within the leasehold shall not exceed luminance ratios greater than 20:1.

3.9.9 Asbestos

The Terminal A facility under the standards of SCDOA and the CBC is an asbestos free structure. No Tenant or Contractor shall utilize any known asbestos agent or material in the construction of any leasehold within this terminal. Prior to the Tenant's commencement of any such remodeling, alteration and/or construction in the leasehold, the Tenant shall notify the APC in written format that all construction materials to be used within the leasehold shall be totally free of any asbestos materials or materials known to be of a hazardous nature. Should the APC suspect otherwise, the APC may cause an environmental audit of the leasehold in order to determine if there are any asbestos containing materials being used in the terminal. Should asbestos be found in any space in the leasehold, SCDOA shall remove all identified materials at the Tenant's expense, plus SCDOA's cost and fees.

3.9.10 Fire Alarm System

The base building is provided with a fire alarm system. The Tenant shall modify or provide additional visible and audible notification appliances within the leasehold as necessary for compliance with NFPA 72. The additional notification appliances shall be interconnected with the base building fire alarm system.

3.9.11 Acoustics

Tenants are required to minimize the transmission of sound from their leasehold. The Tenant must provide the following as a minimum.

1. Noise Control:
 - a. Equipment Noise Control: Tenant shall provide noise control for all Tenant equipment, including but not limited to the HVAC system such that NC Level outside a leasehold as a result of the equipment is limited to NC = 40 in any adjacent occupied space. In the event the equipment produces pure tone components, an NC criterion, which is 5 decibels lower will be used.
 - b. All equipment, including but not limited to the HVAC systems, shall be vibration isolated from the structure. As a minimum, provide vibration isolation equal to that indicated in ASHRAE, Sound and Vibration Chapter 46, Table 45 Selection Guide for Vibration Isolators, 1999 Edition.
2. Sound Isolation: Space planning for adjacent Tenants will need to be considered and the Tenant's design team should inquire as to adjacencies. The minimum sound transmission class (STC) value between leaseholds shall be:

	Business Center	Café	Concession Storage	Duty Free	News	Passenger Service	Quick Serve	Retail	Sit Down	Terminal	Toilet
Business Center	50	50 ¹	45	50	50	50	50	50	50	45	50 ¹
Café		45 ¹	45 ¹	45 ¹	45 ¹	50 ¹	45 ¹	45 ¹	45 ¹	45 ¹	50 ¹
Concession Storage			40	40	40	45	40	40	40	40	40
Duty Free				45	45	50	45	45	45	45	50 ¹
News					45	50	45	45	45	45	50 ¹
Passenger Service						50	50	50	50	45	50 ¹
Quick Serve							45	45	45	45	50 ¹
Retail								45	45	45	50 ¹
Sit Down									45	45	50 ¹
Terminal										-	50 ¹
Toilet											45

¹ Double wall, if there is plumbing piping within the wall to isolate plumbing noise

3. Impact Isolation Criteria (IIC): Provide a minimum of IIC = 50 rating for all leaseholds with hard surfaced (wood, stone, ceramic tile, etc.) floor areas above occupied spaces.
4. Background music and paging systems: Music and background paging systems are permitted within the leasehold upon SCDOA approval. However, the volume of sound must be controlled to limit the levels to the leasehold boundaries and not intrude into the adjacent spaces so that the background paging and emergency messaging system can be clearly heard without interference from leasehold sound systems. The noise from any leasehold to the exterior or adjacent spaces shall not exceed NC = 40 except in business center and passenger service where NC = 30 is permitted.

3.9.12 Information Technology

1. General Requirements
 - a. The Tenant shall coordinate with the SCDOA IT&T Division for telephone and data services. Leaseholds have been provided with communication conduits that provide the pathway from the leasehold to the SCDOA IT room. Each space is provided with two, 1-1/4" conduits. These conduits terminate in a junction box located in the ceiling above the leasehold. The Tenant is responsible for providing conduit from the junction box to their individual telecom outlets. In some locations, conduit from the Tenant telecom outlet will be routed directly to a nearby cable

- tray. The cable tray then provides the path to the SCDOA IT room. This conduit shall also be provided by the Tenant.
- b. The Tenant is to provide a detailed description of their telephone and data requirements to the SCDOA IT&T Division. These shall include the quantity and type of cable from the SCDOA IT room to the leasehold, any specialized outside data circuits such as T1's, and specific network requirements. Ordering of specialized circuits is the responsibility of the Tenant. Drawings shall also be provided showing the locations where these cables and circuits are to terminate.
 - c. The Tenant shall not be allowed to install their own cabling. Once the cabling requirements have been provided to the SCDOA IT&T Division, a SCDOA designated contractor will install and test the cabling. SCDOA has standardized on Panduit for all their cabling and termination hardware. All voice and data cabling shall be Category Six or better. The costs associated with the installation of Tenant cabling shall be the responsibility of the Tenant.
2. Telephone Service
 - a. The Tenant may elect to obtain telephone service from a local provider or utilize the SCDOA VoIP Shared Tenant Services (STS) telephone system.
 3. Data Services
 - a. The Tenant shall utilize the SCDOA local area network for all data services. Local servers and routers are the responsibility of the Tenant and are to be located within the leasehold. The Tenant may request that servers and routers be co-located within SCDOA rooms designed to house this type of equipment. SCDOA utilizes Cisco network equipment.

3.9.13 Return Policy

If the Tenant discontinues its lease or decides to relocate to a different leasehold within the airport terminal, the Tenant is required, prior to vacating, to return the leasehold back to the original condition at the pre-construction walk-through.

3.9.14 Estimated Concessions Services Matrix

Estimated Concessions Services Matrix																		
SPACE NO.	TENANT MIX	Design Condition	ITS / Communication	Electrical				Mechanical				Plumbing						Type of Construction
				Estimated Watts/SF	Estimated Service Size @ 480V, 3 Ph	Estimated Conduit Size	Installed Conduit Size	HVAC VAV Supply Air Volume	Cooking Exhaust Duct	Dishwasher Exhaust Duct	Supply Air Temp	Domestic Cold Water	Hot Water	Sanitary Sewer	Vent	Grease Waste	Natural Gas	
Central Terminal B Basement Level																		
LS-001	Storage		No	12	NA	None *	None *	750 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	I-A
Central Terminal B Level 1																		
LS-101	Storage		No	12	NA	None *	None *	100 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	I-B
LS-102	Storage		No	12	NA	None *	None *	350 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	I-B
LS-103	Storage		No	12	NA	None *	None *	500 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	I-B
LS-104	Storage		No	12	NA	None *	None *	450 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	I-B
LS-107	Storage		No	12	NA	None *	None *	50 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	I-B
LS-108	Storage		No	12	NA	None *	None *	1500 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	I-B
LS-109	Storage		No	12	NA	None *	None *	2000 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	I-B
BL-101	News, Gift & Food	A3	Yes	18	(3)200A	3-2"	3-2"	1000cfm	NA	NA	55	1-1/4"	1-1/4"	3"	2"	NA	NA	II-B
Central Terminal B Level 3																		
BL-301	Medical Clinic/ Pharmacy	A2	Yes	50	200A	1-2"	1-2"	5200 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	I-B
BL-302	Gift & News	B2	Yes	18	(2)200A	2-2"	2-2"	6000 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	I-B
BL-303	Specialty Retail	B1	Yes	18	200A	1-2"	1-2"	4000 cfm	Roof Avail.	Roof Avail.	55	2"	1-1/4"	NA	2"	4"	1000 cfh	II-B
BL-304	Specialty Retail	A1	Yes	18	(2)200A	2-2"	2-2"	4500 cfm	Roof Avail.	Roof Avail.	55	2"	1-1/4"	NA	2"	4"	1000 cfh	II-B
BL-305	Specialty Retail	A1	Yes	18	200A	1-2"	1-2"	3300 cfm	Roof Avail.	Roof Avail.	55	2"	1-1/4"	NA	2"	4"	1000 cfh	II-B
BL-306	Bar	B2	Yes	50	(3)200	3-2"	3-2"	5700 cfm	NA	NA	55	2"	1-1/2"	3"	2"	NA	NA	I-B
BL-307	Specialty Coffee	B1	Yes	50	(2)200A	2-2"	2-2"	5600 cfm	Roof Avail.	Roof Avail.	55	2"	1-1/4"	NA	2"	4"	1000 cfh	II-B
BL-308	Quick Serve	A1	Yes	50	200A	1-2"	1-2"	3500 cfm	Roof Avail.	Roof Avail.	55	2"	1-1/4"	NA	2"	4"	1000 cfh	II-B
BL-309	Quick Serve	A1	Yes	50	200A	1-2"	1-2"	2800 cfm	Roof Avail.	Roof Avail.	55	2"	1-1/4"	NA	2"	4"	1000 cfh	II-B
BL-310	Kiosk	C	Yes	18	None	None	None	Open	NA	NA	55	1-1/4"	3/4"	NA	2"	4"	NA	II-B
BL-311	Kiosk	C	Yes	18	None	None	None	Open	NA	NA	55	1-1/4"	3/4"	NA	2"	4"	NA	II-B

Estimated Concessions Services Matrix, cont.

SPACE NO.	TENANT MIX	Design Condition	ITS / Communication	Electrical				Mechanical				Plumbing					Type of Construction		
				Estimated Watts/SF	Estimated Service Size @ 480V, 3 Ph	Estimated Conduit Size	Installed Conduit Size	HVAC VAV Supply Air Volume	Cooking Exhaust Duct	Dishwasher Exhaust Duct	Supply Air Temp	Domestic Cold Water	Hot Water	Sanitary Sewer	Vent	Grease Waste		Natural Gas	
Airside B Level 1																			
AS-101	Storage		No	12	NA	None *	None *	100 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	NA	II-B
AS-102	Storage		No	12	NA	None *	None *	1600 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	NA	II-B
AS-103	Storage		No	12	NA	None *	None *	200 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	NA	II-B
AS-104	Storage		No	12	NA	None *	None *	500 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	NA	II-B
AS-105	Storage		No	12	NA	None *	None *	550 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	NA	II-B
AS-106	Storage		No	12	NA	None *	None *	2000 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	NA	II-B
AS-107	Storage		No	12	NA	None *	None *	1000 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	NA	II-B
Airside B Level 2																			
BA-201	Full Service Restaurant	E1	Yes	50	(3)200A	3-2"	3-2"	5100 cfm	Roof Well	Roof Well avail	55	3"	2"	4"	2"	4"	Avail.	NA	II-B
BA-202	Specialty Coffee	D3	Yes	18	200A	1-2"	1-2"	1500 cfm	Roof Well	Roof Well avail	55	1.5"	1"	4"	2"	4"	Avail.	NA	II-B
BA-203A	Specialty Retail	D1	Yes	18	200A	1-2"	1-2"	600 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	NA	II-B
BA-203B	Specialty Retail	D1	Yes	18	200A	1-2"	1-2"	600 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	NA	II-B
BA-204	Gift/News/Books	D2	Yes	18	200A	1-2"	1-2"	2000 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	NA	II-B
BA-206A	Specialty Retail	D2	Yes	18	200A	1-2"	1-2"	1000 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	NA	II-B
BA-206B	Specialty Retail	D2	Yes	18	200A	1-2"	1-2"	1000 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	NA	II-B
BA-207	Specialty Retail	D1	Yes	18	200A	1-2"	1-2"	1200 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	NA	II-B
BA-208	Quick Serve	D3	Yes	50	(2)200A	1-2"	1-2"	2000 cfm	Roof Well	Roof Well	55	2-1/2"	1"	4"	2"	4"	Avail.	NA	II-B
BA-209	Quick Serve	D3	Yes	50	200A	1-2"	1-2"	2000 cfm	Roof Well	Roof Well	55	2-1/2"	1"	4"	2"	4"	Avail.	NA	II-B
BA-210	Quick Serve	D3	Yes	50	200A	1-2"	1-2"	2000 cfm	Roof Well	Roof Well avail	55	2-1/2"	1"	4"	2"	4"	Avail.	NA	II-B
BA-211	Quick Serve	E1	Yes	50	200A	1-2"	1-2"	3600 cfm	Roof Well	Roof Well avail	55	2-1/2"	1"	4"	2"	4"	Avail.	NA	II-B
BA-212	Wine Bar with Retail	D1	Yes	18	200A	1-2"	1-2"	1000 cfm	NA	Sidewall***	55	1.5	1	4"****	2"	NA	NA	NA	II-B
BA-213	Gift & News	D1	Yes	18	200A	1-2"	1-2"	850 cfm	NA	NA	55	NA	NA	NA	NA	NA	NA	NA	II-B
BA-214	Specialty Coffee	D2	Yes	18	(2)200A	2-2"	2-2"	1100 cfm	NA	Sidewall	55	1.5"	1"	4"	2"	NA	NA	NA	II-B
BA-215	Bar	D2	Yes	18	(3)200A	3-2"	3-2"	2000 cfm	Sidewall	Sidewall	55	2-1/2"	1-1/2"	4"	4"	NA**	NA	NA	II-B
BA-216	Retail-Kiosk	F	Yes	12	200A	1-2"*	1-2"	Open	NA	NA	55	3/4"****	3/4"****	2"****	2"****	NA	NA	NA	II-B
BA-217	Retail-Kiosk	F	Yes	12	200A	1-2"*	1-2"	Open	NA	NA	55	3/4"****	3/4"****	2"****	2"****	NA	NA	NA	II-B
BA-218	Retail-Kiosk	F	Yes	12	200A	1-2"*	1-2"	Open	NA	NA	55	3/4"****	3/4"****	2"****	2"****	NA	NA	NA	II-B
*Only lighting and convenience receptacles provided																			
**Not currently provided: Accommodate grease waste with local traps.																			
*** Not currently provided: Sidewall fan (15 ft minimum from adjacent intake) or connect central exhaust over adjacent toilet.																			
**** Services provided below slab.																			

4.1 Tenant Plan Submittal Procedures

**Reference Exhibit D within 6.1 Appendix*

All Tenant plans shall be submitted to:

Planning and Development
Sacramento International Airport
6705 Lindbergh Drive
Sacramento, California 95837
916-874-0616

4.1.1 Conceptual Submittal

Tenant shall make a final conceptual and material board submittal. The Conceptual Submittal is an informal presentation to the APC of the Tenant's design concept. The concept may be in the form of rough sketches and notes, which can be sent electronically or by mail. The proposals then can be discussed with the APC via telephone for general reactions, suggestions, etc. This rough, general review is encouraged before extensive design time is spent on the project.

4.1.2 Preliminary Tenant Submittal

Within 30 calendar days of receipt of the Tenant package, the Tenant agrees to submit to the APC, preliminary storefront drawings prepared at the tenant's expense by the Tenant's Architect. Each Tenant leasehold shall be submitted individually and not as multiple leasehold submittals. This preliminary submittal, per Tenant leasehold, shall include a color rendering of the Tenant's storefront design or photos of previous stores built similar in appearance to that proposed for SMF. Renderings shall indicate all finish materials being proposed for the store construction. A material sample and color board of all materials and colors being proposed shall be submitted along with the color rendering. Board size minimum should be 8-1/2" x 11" minimum. (Confirm with M. Rubach re: smoke density/flame spread ratings of all materials)

The drawings shall be reviewed by the APC and SCDOA. The Tenant shall allow 21 working days for the review to be completed by all parties. It is recommended that the Tenant not proceed into construction documents until preliminaries are processed and comments are returned to the Tenant. The Tenant is cautioned to provide adequate time for both preliminary and final reviews to be processed in the total construction schedule.

4.1.3 Final Submittal

Within 45 days after the receipt of the approved preliminary submittal from the APC, the Tenant agrees to submit the following complete documents to the APC. The documents shall be submitted as a single submittal package per leasehold. Multiple leaseholds shall not be submitted for a single review:

1. 5 sets of prints of completed construction documents together with a compact disc (CD) containing CAD drawing files of the documents in AutoCAD ".dwg" format, including all associated files used in the production processes (i.e. fonts, image files, xref dwgs, .ctb, .stb, etc.) Completed construction documents shall include but not be limited to the documents outlined below. The plans shall be complete for submission to the local building department, including all required Title 24 Energy Compliance documentation. All plans shall be in strict conformance with Title 24 Accessibility Standards.
2. Final plans shall be drafted on a 22" x 34" plan sheet, utilizing a border and title block as provided in digital format by the APC, or as approved by the APC.
3. Final Submittals shall be signed and sealed by the Tenant's Architect, who shall hold a current license to practice Architecture in the state of California. Final drawings shall also be signed and sealed, as applicable with the following current California Engineering Seals: Electrical, Mechanical and Structural Seal.

- a. The final plans shall be reviewed by the APC, the Airport Properties Division, ARFF and the General Services Airport Building Maintenance division. The Tenant shall allow 21 working days for the final review and each subsequent review, if necessary. It is strongly recommended that the Tenant not bid the project until the final plans have been reviewed and approved or until comments have been returned to the Tenant. The Tenant is cautioned to provide adequate time in the total construction schedule for both preliminary and final reviews to be processed.
4. Architectural Drawings shall include:
 - a. Key Plan showing concession location, leasehold address and actual square footage as defined in the lease document.
 - b. Floor Plan at 1/4" scale with all features and floor finishes called out and all partitions dimensioned. The plan must comply with all accessibility standards. Required exiting must be per CBC Chapter 11.
 - c. Reflected Ceiling Plan at 1/4" scale indicating ceiling finishes, heights and lighting types.
 - d. Storefront elevations and sections per the approved preliminary submittal including roll-up grille type and detailing. Show all signage and framing of storefront including support of the framing system. Storefronts shall be either self supporting or may be supported from the terminal's structural steel system. No structural connections shall be allowed to either the metal decking material or the terminal bulkheads and soffits. Elevations shall include all finish material call outs, heights and reveal details.
 - e. Interior elevations and sections at 1/4" scale as required to adequately describe the Tenant improvements. Interior elevations shall denote finishes, signage, heights, etc.
 - f. Finish and material schedule per room which shall match the approved preliminary color board submittal.
 - g. Final signage drawings shall include the sign manufacturer's shop drawings from which the sign shall be fabricated. 5 prints of the shop drawings shall be submitted. This can be concurrent with, or independent of, the final architectural submission. No signage shall be installed prior to final approvals of the signage package.
 - h. Casework and fixture plans at 1/4" scale if not shown on floor plans and fully dimensioned. Include all material finishes and details necessary to convey the intent of the finished product.
 - i. Specifications, as necessary, to define the quality of construction and materials to be utilized on the project.
5. Mechanical Drawings shall include:
 - a. Heating, Ventilating and Air Conditioning system plan, including duct sizes, specifications and details.
 - b. Plumbing system shall include the plumbing plan, fixture schedules, one line diagrams, specifications and details.
 - c. Completed energy design forms as required by California Administrative Code Title 24 and the SCDOA required Heat Gain Schedule Exhibit A and Heat Loss Schedule Exhibit B in *Section 6.1 Appendix*.
6. Electrical Drawings shall include:
 - a. Electrical plans including power plans, lighting plans, alarm and telephone circuitry plans. Lighting plans shall include all required emergency and illuminated exit lighting.
 - b. Power single line diagram.
 - c. Electrical panel schedules, light fixture schedules and load calculations.
 - d. Completed energy design forms as required by California Administrative Code Title 24 and the SCDOA required Electrical Review Schedule Exhibit C in *Section 6.1 Appendix*.
7. Sprinkler System
 - a. The sprinkler system Tenant improvement submittal shall be made by the licensed fire protection contractor and shall be separate from the building permit submittal.
8. Fire Alarm System
 - a. The fire alarm system Tenant improvement submittal shall be made by the licensed fire alarm contractor as approved by SCDOA and shall be separate from the building permit submittal.

9. Code Compliance
 - a. All plans shall comply with the California Building Code (California Code of Regulations, Title 24, Part 2) and the adopted reference standards as described in *Section 1.6*.
10. Approval of Final Submittal
 - a. Upon SCDOA approval of the construction documents, the Tenant shall contact the Sacramento County Building Department to determine the number of print sets required for plan check review and issuance of permits. The number of sets required by the Building Department, plus one for SCDOA records and a compact disc (CD) containing .pdf files of the approved project plans, shall be submitted to the APC for stamp and signature of SCDOA approval. The Sacramento County Building Department will not begin plan checks until the construction documents have been approved and stamped by the APC.

4.1.4 As Built Drawings

The Tenant's General Contractor shall keep accurate records of all changes which are deviations from the SCDOA approved final plans during the course of the construction. Within 60 calendar days after filing the Notice of Completion for the project, and prior to the Tenant's occupancy of the finished leasehold, the Tenant shall provide the APC with the General Contractor's record of the following:

1. One half-size print of all project plans on bond paper with "AS-BUILT" or "RECORD DRAWING" notated on each plan sheet.
2. One complete set of CAD drawing files in AutoCAD ".dwg" format to include all associated files used in the production processes (i.e. fonts, image files, xref dwgs, .ctb, .stb, etc.)
3. A set of .pdf files of the project plans. The plans may be included in a single file or individual sheet files.
4. A complete set of specifications in Microsoft Word ".doc" or ".docx" format. The signed set of specifications shall be provided in a separate .pdf file.
5. All files supplied shall be delivered on a compact disc (CD).
6. The APC shall have a record of all close out documentation including but not limited to the Notice of Completion, Certificate of Occupancy and Environmental Health Inspection Certificate.
7. All drawings, documents and digital files submitted to the APC shall become the property of the SCDOA for use in maintenance and future development of the leasehold.

5.1 Construction Rules and Regulations

5.1.1 Insurance Requirements

The Tenant's General Contractor and all sub-contractors involved with the construction process are responsible for procuring and maintaining through the duration of the construction, insurance against claims for injuries to persons or damages to property which may arise from or in connection with improvements to the leasehold. SCDOA shall require verification in the form of certificates evidencing coverage of the following required insurance prior to construction:

1. Worker's Compensation
2. Comprehensive General Liability
3. Comprehensive Automobile Liability
- Note: Higher coverages apply for vehicles operating on the AOA.
4. Professional Liability

All insurance policies shall include SCDOA, its agents, its Architects and any other parties designated by SCDOA as additionally insured. Actual limits shall be provided by the APC and additional provisions shall apply to all policies including but not limited to: Acceptability of Insurers; Maintenance of Coverage; Professional Liability Provisions; and Waivers of Subrogation. SCDOA retains the right to review the coverage, form, and amount of the insurance and may require the Tenant to obtain additional coverage if deemed insufficient.

5.1.2 Bonds

The General Contractor shall be bonded in the amount of 125% of the cost of the Tenant construction. The bond shall be in the form of a performance and materials bond. The bond shall be made out to Sacramento County Department of Airports. The bond shall be presented to SCDOA prior to the start of construction.

5.1.3 Prevailing Wages

California prevailing wages are enforced to all labor under direct contract to SCDOA. The Contractor in direct contracts with labor on the Tenant construction utilizing private funding shall not be required to pay prevailing wages. However, for all work which the Tenant's General Contractor utilizes SCDOA Contractors, the Contractor shall pay prevailing wage at the rates published in the California State Prevailing Wage Act.

5.1.4 Pre-Construction Meeting

It is the intention of SCDOA to ensure a smooth and steady construction process for each individual Tenant. The Tenant's construction drawings have been through an extensive review process to confirm compliance with SCDOA criteria. During the pre-construction meeting, the Tenant's General Contractor will be made aware of the Tenant/SCDOA relationship and the obligations of the Tenant General Contractor while acting as the Tenant's construction agent. Any concerns should be addressed at this time. All preventative measures taken at this meeting could save time and money in the construction process.

Specific requirements will be discussed during the pre-construction meeting. The General Contractor is responsible for ensuring that all subcontractors involved with construction are fully aware of all information contained in this manual.

SCDOA approved construction drawings will be reviewed during this time. The General Contractor will be made aware of all stamped and written comments on these drawings. All comments shall be incorporated into the actual leasehold construction. Approved plans shall be kept on jobsite at all times and shall be readily available to the APC upon request.

5.1.5 Premises Acceptance

Upon completion of the pre-construction meeting, the General Contractor will accompany the APC to the leasehold. Logistics, mechanical and electrical services, existing conditions, etc., will be reviewed at this time. The General Contractor and APC will review storefront lease line conditions and make note of any existing damage (i.e., soffit, neutral piers, flooring, etc.). The Tenant's General Contractor will accept the space and be responsible for the leasehold from this date forward.

5.1.6 Barricades

SCDOA provides a closure partition at unoccupied leasehold storefronts. Prior to construction, the General Contractor shall remove the closure partition at the APC's direction and install an approved full height barricade with a floor to ceiling 8 mil polyethylene dust barrier. *Reference Figure 5.1A.*

The barricade shall be placed so that it does not inhibit storefront construction or public circulation. It must be constructed from metal studs and gypsum board, be fully taped, spackled and painted and must remain rigid, square and plumb throughout leasehold construction. The General Contractor shall verify all code requirements (entrance/exit routes, fire protection, etc.) before the barricade is installed. Relocation or removal of the barricade will be authorized by the APC and must be scheduled at least 48 hours in advance or 2 working days. Terminal flooring underneath the barricade must be protected with plywood, carpet, masonite or other durable materials specified by the APC.

The General Contractor is responsible for maintaining the area surrounding the barricade. If dirt or dust escapes from the construction site into the common area, the General Contractor may be charged a "clean-up" fee for work performed by SCDOA personnel. All barricade doors, including rear exit doors, shall remain closed during construction activity. This will prevent unauthorized personnel from entering the site and help contain noise and dust within the space. The General Contractor shall provide either a combination lock on the barricade door and provide the APC with the combination or a lock-box at the door with the key inside and provide the APC with the combination to the lock-box.

Damage to SCDOA finishes caused by demolition or construction of the barricade will be incurred by the General Contractor.

Signage may not be installed on the barricade exterior unless authorized by the APC.

If any portion of the store remains open during construction, a barricade is required between the construction activity and the public circulation. In the event the APC determines the public's welfare is compromised, all construction will be stopped until such condition is corrected.

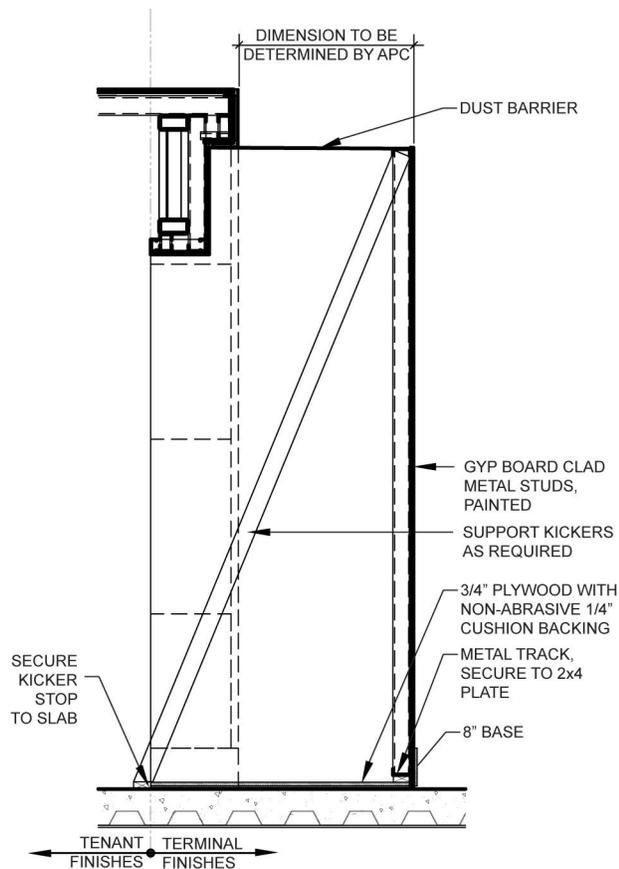


Figure 5.1A Construction Barricade Section

5.1.7 Demolition

Demolition shall not interfere with the daily operation of adjacent SCDOA Tenants or common areas. Be aware of work, painting, saw-cutting or excessive vibrations that can disrupt or damage adjacent Tenant spaces and/or surrounding areas. Remove all existing electrical, mechanical, plumbing and other utilities and equipment to the source. Do not abandon in-place any unused equipment.

5.1.8 Noise and Odors

If excessive noise or odors are identified by SCDOA personnel, the Tenant's General Contractor shall terminate work immediately and will take immediate means to rectify the situation.

5.1.9 Trash Removal

The APC shall designate a central location for Tenant's trash receptacles and temporary toilets for use during construction. All trash and debris shall be removed on a daily basis and properly deposited in the Tenant trash receptacles. Should the General Contractor fail to properly maintain the premises in a clean and workable condition, SCDOA may have the refuse removed and bill the Tenant for all costs incurred.

5.1.10 Floors

The Tenant's General Contractor is required to be present during the entire concrete pouring process, where required, to ensure that the concrete contractor is aware of and complies with the following requirements:

1. All concrete pours shall be scheduled with the APC 48 hours in advance.
2. The route from the concrete to the leasehold shall be protected with 8 mil polyethylene dust barrier and plywood. This includes the area directly below the truck trough.
3. Concrete moving equipment that produces noxious fumes is not permitted in the terminal. Only manual equipment shall be utilized.
4. When pumping concrete to the site, provide wood blocking below the coupling flanges. The flanges shall not rest on the deck. This should prevent damage to the finished floor.
5. A wash-out site will not be provided. Concrete trucks shall be taken off SCDOA property for washing, rinsing and cleaning.
6. All ducts, fire dampers, pipes, cleanouts, etc., shall be protected from concrete exposure. Equipment must not be rendered inoperative or inaccessible due to the concrete pour. The Contractor shall confirm that all necessary forms are in place before the pour.
7. Concrete floor slabs within the interior of the leasehold and at any entrance shall have a smooth finish. Such floor shall be on a single plane without depressions or raised areas.
8. All floor penetrations shall be water tight. The Contractor shall be fully responsible for any damage resulting from the Tenant's Contractor. The Contractor shall verify the location of all utilities prior to coring or cutting. Any resulting damage to the base building shall be repaired and the Contractor will incur all costs for resulting damages. All core drills shall be filled with fire proofing or mortar. Prior to core drilling the Contractor shall x-ray or fluoroscope the slab to remain clear of structural elements and utilities. The APC is required to approve the scheduling of all penetrations.
9. The Contractor may be required to remove and store floor mounted light fixtures at the APC's direction. Proper care must be taken not to damage the SCDOA floor and fixtures, as well as provide a flat flooring transition.
10. All new or abandoned penetrations of terrazzo flooring will be made by the SCDOA Terrazzo contractor at Tenant's cost.

5.1.11 Plumbing

The General Contractor shall verify that the plumbing subcontractor is aware of and complies with all SCDOA comments on the approved construction drawings.

1. The APC will designate sanitary, domestic water, air vent and other utility lines to be used. These utility lines may exist outside the leasehold. The General Contractor is responsible for extending utilities into the leasehold.
2. Copper, cast iron, steel or any other code-complying metal shall be used for all piping. PVC piping may not be used below grade or in return-air plenums.
3. All cold water supply lines shall be insulated. The General Contractor must ensure that the insulation material is plenum rated if applicable.
4. Ensure that all sanitary cleanouts are exposed and remain accessible. Since many trades can affect this requirement, the General Contractor shall ensure that all subcontractors are aware of existing cleanouts. Locations must be coordinated with the APC.
5. The General Contractor shall ensure that the plumbing contractor does not leave any uncapped or open sanitary or vent lines, etc.
6. Work requiring access into lower level spaces shall be coordinated by the General Contractor with the APC. Any damage caused by this work shall be corrected by the Contractor at his expense.
7. When construction is complete, all sanitary lines shall be "rooted out."
8. A gas manifold has been provided by SCDOA. The APC shall direct the Contractor on routes, type of support, etc., for piping. The use of natural gas is permitted for cooking (process loads) operations only. The system is not designed to supply:
 - a. Unit (air) heaters or space heating
 - b. Jeweler's torches or any other type of equipment
9. Enclosure requirements should be code compliant. Vented shafts, chases, etc., may be required along the route.

5.1.12 Electrical

The General Contractor shall ensure that the electrical subcontractor is aware of and complies with all SCDOA comments on the approved construction drawings. The General Contractor shall contact the APC prior to bidding to determine specific, custom requirements to be utilized within the terminal.

1. Temporary power may be available from a source designated by the APC. All temporary wiring used during construction (e.g., phone, power, etc.) shall be in conduit and removed before project completion.
2. All permanent wiring shall be in rigid conduit. Flexible conduit may not be used for extended runs, runs which extend outside the Tenant leasehold or in within demising partitions. Flexible conduit may be used in lengths of up to 6' for finish connections only.
3. The type and size of the electric service will be specified by the SCDOA approved construction drawings and specifications. The APC will designate the power source, routing from the sources to the leasehold and labeling. The General Contractor and APC should walk the route to verify the methods of attachment, support, penetrations, etc., until they are fully understood.

5.1.13 Heating, Ventilating and Air Conditioning

The General Contractor shall ensure that the HVAC subcontractor is aware of and complies with all comments on the approved construction drawings.

1. Any existing equipment to be reused shall be made "like new." This is applicable to air-handlers, condensing units, duct work and any other portion of the HVAC system. The APC may request that reused ducts be replaced if their integrity cannot be maintained.
2. HVAC equipment that produces a discharge or requires a drain shall be tied into the drainage system. Roof equipment cannot drain onto the roof. Tie-in requirements shall be coordinated with the APC.
3. All roof equipment (new or reused) shall be labeled with the store name and leasehold number. 2" white vinyl letters will be used on two sides of the equipment.
4. Exhaust ducts penetrating the roof shall be located at least 20' away from any fresh-air intake. A duct extending higher than the tallest air intake may be required if the 20' distance cannot be achieved. Locations and routes shall be coordinated with the APC.
5. The APC will determine the supply-air, fresh-air, relief-air taps, etc., to be used. Any unused supply-air taps shall be capped and sealed. Air may not blow freely from any tap unless a VAV box is attached.
6. A flexible high velocity duct (maximum length 4') will attach the VAV box to the supply-air tap. The General Contractor shall ensure the HVAC subcontractor does not install any dips, bends or turns at this attachment. Any "kinks" may cause the VAV box to become inoperative.
7. The HVAC system supplies air to various areas of the terminal and leaseholds. Attachments into the supply-air must occur when the system is off. Verify times with the APC.
8. When the system is ready for start-up, the APC shall be notified at least 24 hours in advance, allowing time to schedule an operation inspection. The system shall be 100% operational before store opening.
9. An air balance of the system must be performed by an independent temperature controls contractor and a certified air-balance report is required before the store opening. The General Contractor's construction deposits will not be processed for return until this report is received.
10. HVAC electrical installation shall include complete and satisfactory operable low voltage electric controls and power wiring to the VAV terminal box and electric damper in accordance with all governing codes.

5.1.14 Roof Deck

The General Contractor shall coordinate any work that requires modifications to the existing roof with the APC. The General Contractor shall ensure that all associated subcontractors (i.e., HVAC, electrical, etc.) are aware of the roof requirements.

1. Typically, any opening in the roof greater than 6" x 6" requires additional steel reinforcing. This steel shall be installed before cutting the roof. Drawings showing the roof framing must be approved by a licensed structural engineer.

2. The General Contractor shall coordinate access to the roof for his subcontractors. Access shall be through the applicable roof hatches. Ladders, lifts, ropes, etc., shall not be used for access unless specifically approved by the APC.
3. Pipes, conduit, ducts, antennas or other equipment penetrating all rooftops, if allowed by the APC, shall penetrate vertically through the roof directly below the serviced equipment, when possible. Because the majority of the roof is curved, penetrations will only be allowed in certain locations.
4. Antennae are permitted on the roof only after an antenna agreement has been executed between SCDOA and the Tenant. This includes satellite dishes, USSB, Muzak dishes and any other transmission or receiver devices. All units shall be located at a point approved by the APC. Because the majority of the majority of roof is curved, penetrations will only be allowed in certain locations. SCDOA may dictate location on the antennae farm for installation of any antennae.
5. All crating materials, unused equipment, trash, debris, etc., shall be removed from the roof upon completion of work by the General Contractor, who may be assessed a "clean-up" fee if removal of debris, equipment, etc., is performed by SCDOA personnel.
6. Equipment of any kind shall be carried over roof expansion joints. Do not drag, drop or manhandle any other equipment across the roof. The cost of repair for damage caused by any subcontractor will be deducted from the General Contractor's security deposit.
7. Equipment placed on the roof shall not be visible from any point on the airport site. Coordinate locations with the APC.
8. SCDOA may require the use of its approved roofing contractor for any roofing work in order to maintain the roof warranty.

5.1.15 Fire Suppression

The General Contractor shall ensure that the fire protection subcontractor is aware of and complies with all comments on the SCDOA approved construction drawings.

1. The General Contractor shall ensure that the fire protection subcontractor submit drawings to ARFF. Approval must be obtained before commencing any work.
2. Many leaseholds have more than one sprinkler main within the space (both SCDOA and Tenant supply lines). The APC shall designate the sprinkler supply line to be used.
3. System control valves are required for the automatic sprinkler protection serving each Tenant leasehold.
4. The sprinkler system is monitored by the main airport fire alarm system, airport security and various alarm companies. Contractors must not tamper with these systems. All sprinkler systems must be monitored by the base building fire alarm system
5. Before a shut-down for final connection can occur, the system shall be hydrostatically tested and made ready for "tie-in". The General Contractor shall schedule a date and time for system shut-down, which should be scheduled a minimum of 5 days in advance with the APC in order to notify ARFF. The system is required to be reactivated at the end of each workday, prior to the contractor leaving the site. A shutdown fee may be charged for each system shutdown. Payment shall be made in the form of a check in the amount specified by the APC. Check shall be made payable to Sacramento County Department of Airports.
6. A minimum of two fire extinguishers must be located on the job site through construction.
7. A "fire-watch" shall be provided at all times during field welding operations. ARFF requires a 48 hour advance notification prior to any welding being performed.

5.1.16 Fire Alarm System

Leaseholds that require additional or relocated occupant notification appliances will require the involvement of SCDOA's approved fire alarm contractor. All fire alarms must be monitored by the base building fire alarm system.

5.1.17 Life Safety

All life safety requirements associated with the Tenant's construction is based on the initial code review of the base building. Smoke detection, egress routes, etc., are unique to each leasehold. All Tenant systems shall be connected to the terminal fire alarm systems and shall be coordinated with the APC. The Tenant's General Contractor and his subcontractors shall be aware of all comments on the approved construction drawings.

5.1.18 Demising Wall

SCDOA has installed 6"(x 20 gauge??) metal studs, 16" O.C., floor to structure above. The General Contractor shall verify that the drywall Contractor installs a minimum of one layer 5/8" fire-rated gypsum board, fire-taped and spackled from floor to ceiling.

1. The demising wall will be located per dimensions indicted on the SCDOA leasehold layout drawing. Any dimensional inconsistencies between the leasehold drawing and the SCDOA approved construction drawing should be brought to the immediate attention of the APC.
2. Demising walls do not possess structural value. The General Contractor shall provide structural reinforcement if Tenant's construction is attached to or supported from the demising wall. Structural drawings must be prepared by a licensed structural engineer.
3. If the area above the ceiling is used as a return-air plenum, the number and size of return-air openings will be indicated on the SCDOA approved construction drawings. The General Contractor shall secure these openings with a screening specified by the APC or the Inspector.
4. Wall display standards may not be recessed into any fire-rated demising walls. A second layer of drywall must be used to conceal the standards.

5.1.19 Ceiling

Construction cannot be attached to the terminal's finished soffit, floor or roof deck above, as these components are not designed to support additional loads. Ensure that ceilings are supported from the structural steel, bar joist, purlins, etc., and are not attached to the roof deck or soffit in any fashion.

1. If the area above the ceiling is used for a return-air plenum, the General Contractor must ensure that all ceiling components are plenum rated. No combustible materials shall be installed in the plenum.
2. Maintain access to all Tenant and SCDOA equipment above the ceiling per all codes and maintenance requirements. Coordinate access panel locations with the APC, the building inspector and SCDOA approved construction drawings.
3. If Tenant desires ceiling elevations higher than those permitted, relocation of plumbing, electrical, mechanical, fire protection, etc., will be at Tenant's expense. Use of SCDOA subcontractors may be required to relocate airport utilities at Tenant's expense.
4. An expansion joint must be incorporated into the ceiling construction if present within the leasehold. The General Contractor shall verify code requirements with the governing agency. SCDOA approval is required for aesthetic treatment of this joint.

5.1.20 Storefront Signs

The General Contractor shall ensure that the sign subcontractor is aware of all comments on and requirements of the approved shop drawings. SCDOA approval is required before sign fabrication. Failure to submit shop drawings may prohibit the storefront sign from being installed. Temporary signs will not be permitted for store openings.

1. Location of all openings for conduit and sleeves in sign panels of Tenant's storefront walls shall be indicated by the sign Contractor on drawings submitted to the APC.
2. Installation shall conform to the approved drawings.
3. Tenant is fully responsible for the actions of its sign Contractors, including the repair of any damage caused by the signage Contractors. Ladders, cranes, scaffolding or other equipment used for the installation of signs will not be permitted in the terminal during normal business hours or major flight hours.
4. All penetrations of the building structure required for sign installation shall be performed neatly. The Tenant shall insure the Tenant's storefront will support the weight of the signage.
5. The Sign Contractor shall repair any damage to any work caused by his construction operation.

6. No exposed raceways, crossovers or conduit will be permitted.
7. All cabinets, conductors, transformers and other equipment shall be concealed.

5.1.21 Asbestos

Sacramento International Airport under the standards of SCDOA and the CBC is an asbestos free structure. No Tenant or Contractor shall utilize any known asbestos agent or material in the construction of any space within this terminal. Prior to Tenant's commencement of any such remodeling, alteration and/or construction in the leasehold, the Tenant shall notify the APC in written format that all construction materials to be used on the leasehold shall be totally free of any asbestos materials or materials known to be of a hazardous nature. Should the APC suspect otherwise, the APC may cause an environmental audit of the leasehold in order to determine if there are any asbestos containing materials (ACM) being used in the building. Should asbestos be found in any space in the terminal, SCDOA shall remove all identified materials at the Tenant's expense, plus SCDOA's costs and fees.

6.1 Appendix

6.1.1 Exhibit A - Heat Gain Schedule

Heat Gain Schedule							
Project							
Tenant:							
Type of Store:						Area:	x = sq.ft.
	Item	Room: Number					
		Name					
	1	Area (sq.ft.)					
	2	Ceiling Height (ft.)					
	3	Volume (cu.ft.)					
Exterior Gains			Factor	Quantity	BTUH	Quantity	BTUH
Day Cycle	4	Roof					
	5	Wall					
	6	Glass					
	7	Infiltration					
	8						
	9	Subtotal (4 thru 8)					
Night Cycle	10	Roof					
	11	Wall					
	12	Glass					
	13						
	14	Subtotal (10 thru 13)					
Interior Gains							
Day Cycle	15	Lights					
	16	Other					
	17	Subtotal (15 and 16)					
Net Heat Gain							
Day Cycle	18	Room Load (9 plus 17)					
	19	Average Room Load per sq. ft. (Item 18/Item 1)					
	20	Total Tenant Area (Sum of item 1)					
	21	Tenant Grand Total Load (Sum of Item 18)					
	22	Avg. Tenant Lad per sq.ft. Item 21/Item 20)					
Night Cycle	23	Avg. Room Load per sq.ft. (Item 14/Item 1)					
	24	Tenant Grand Total Load (Sum of Item 14)					
	25	Average Tenant Load per sq.ft. (Item 24/Item 20)					

6.1.2 Exhibit B - Heat Loss Schedule

Heat Loss Schedule									
Project									
Tenant:									
Type of Store:						Area:	x	=	sq.ft.
	Item	Room: Number							
		Name							
	1	Area (sq.ft.)							
	2	Ceiling Height (ft.)							
	3	Volume (cu.ft.)							
Exterior Losses			Factor	Quantity	BTUH	Quantity	BTUH	Quantity	BTUH
Day Cycle	4	Roof							
	5	Wall							
	6	Glass							
	7	Infiltration							
	8								
	9	Subtotal (4 thru 8)							
Night Cycle	10	Roof							
	11	Wall							
	12	Glass							
	13								
	14	Subtotal (10 thru 13)							
Interior Gains									
Day Cycle	15	Lights							
	16	Other							
	17	Subtotal (15 and 16)							
Net Heat Loss									
Day Cycle	18	Room Load (9 less 17)							
	19	Average Room Load per sq. ft. (Item 18/Item 1)							
	20	Total Tenant Area (Sum of item 1)							
	21	Tenant Grand Total Load (Sum of Item 18)							
	22	Avg. Tenant Lad per sq.ft. Item 21/Item 20)							
	Night Cycle	23	Avg. Room Load per sq.ft. (Item 14/Item 1)						
24		Tenant Grand Total Load (Sum of Item 14)							
25		Average Tenant Load per sq.ft. (Item 24/Item 20)							

6.1.3 Exhibit C - Electrical Review Schedule

Electrical Review Schedule			
Project:			
Tenant:			
Type of Store:	Area:	x	= sq.ft
Circuit Breaker installed in Owner's Distribution Panel to Serve Tenant:			Size:
Frame:	AIC Rating:	Voltage:277/480, Poles:3	
Service Conductors/Conduit from Owner's Distribution Panel to Tenant Distribution Panel:			
Conductor Sizes:	Phase:	Neutral:	Ground: Conduit Size:
Loads	Connected KVA	Design Factor(%)	Design KVA
Lighting		125	
Receptacles		**	
Transformers		125	
Motors		125 (largest) + 100	
Heating		*	
Air-Conditioning		*	
Miscellaneous		100	
Spares and Spaces		100	
Kitchen		(See NEC)	
Hot Water Heater		125	
Totals:	KVA		KVA
	VA/SF		VA/SF
*Largest Coincident Load A/C, Heating			
**First 10 KVA @ 100% (Remainder @ 50%)			
Tenant Furnished Equipment Sizes			
Main C/B in Tenant Distribution Panel (TDP):	Size:	Frame:	
	Trip:	AIC Rating:	
Step Down Transformer: KVA:	Secondary Voltage:	Phase:	
3 Phase Fault Current Data			
Panelboard:	Max. Avail. 3 Phase Fault Current:		
Panelboard:	Max. Avail. 3 Phase Fault Current:		
Panelboard:	Max. Avail. 3 Phase Fault Current:		
Panel:	Max. Avail. 3 Phase Fault Current:		

6.1.4 Exhibit D - Tenant Submittal Procedures

TENANT SUBMITTAL PROCEDURES

